



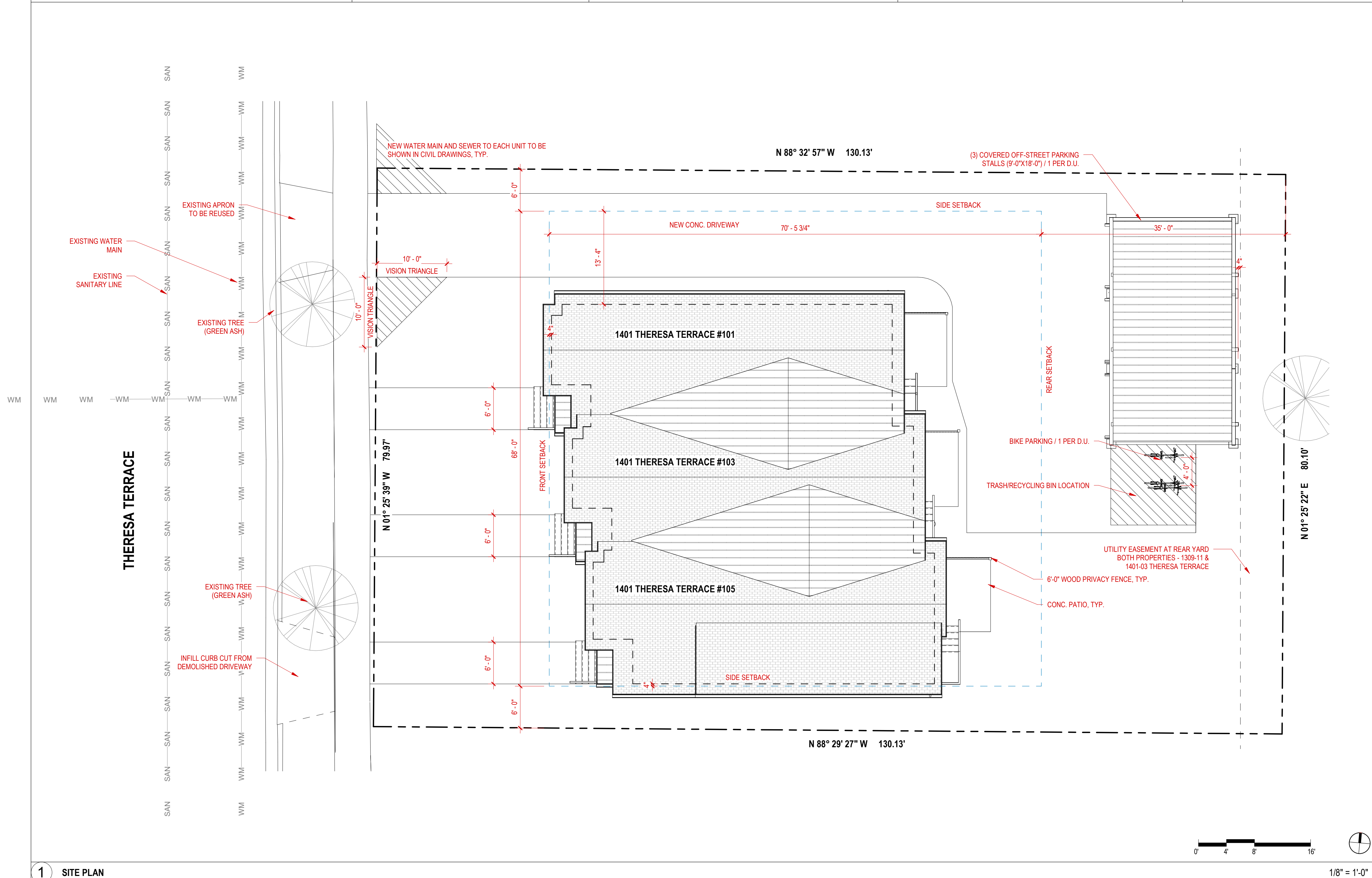
BIKE RACKS
 INTERIOR & EXTERIOR FLOOR MOUNTED, "INVERTED U" TYPE, MADRAX UX OR SARIS BIKE DOCK

LOT COVERAGE CALCULATIONS		ZONING INFO		SR-V1 (THREE-FOUR UNIT)	1401-03 THERESA TERRACE
BUILDING AT GRADE	2,565 SF	LOT AREA (SQ. FT.)	8,000	8,000	10,400
DRIVEWAY / PARKING	2,694 SF	LOT WIDTH	60	60	80 FT.
FRONT STEPS / WALK	617 SF	FRONT YARD SETBACK	25	25	25 FT.
REAR STEPS / PATIO	324 SF	SIDE YARD SETBACK	6/15 TOTAL	6	6 FT.
TOTAL LOT COVERAGE =	6,200 SF	REVERSE CORNER SIDE YARD SETBACK	12		
% OF LOT AREA (10,400 SF) =	59.5% (6,200SF COVERAGE/10,400 TOTAL LOT AREA)	REAR YARD SETBACK	25% LOT DEPTH BUT AT LEAST 30 FT		35 FT.
		MAXIMUM HEIGHT	3 STORIES / 40 FT.		2 STORIES
		MAXIMUM LOT COVERAGE	90%		APPROX. 59%
		MAXIMUM BLDG COVERAGE	N/A		
		USABLE OPEN SPACE (SQ. FT. PER D.U.)	100		2,000+

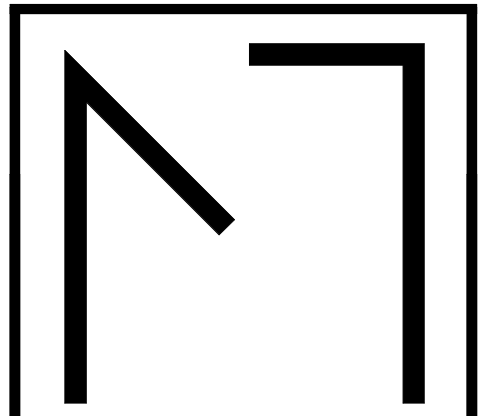
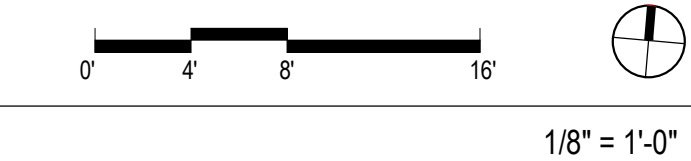
LEGAL DESCRIPTIONS:
1401 THERESA TERRACE (PARCEL#: 2510708-364-2201-7)
 - UNIT ONE OF THE WESTVALE CONDOMINIUM NO. 1, LOCATED IN THE CITY OF MADISON AND CREATED UNDER THE WI CONDOMINIUM ACT BY DECLARATION OF CONDOMINIUM RECORDED SEPT. 4, 1980 IN THE OFFICE OF THE REGISTER OF DEEDS FOR DANE COUNTY AS DOCUMENT NO. 1678366 AND PLAT OF CONDOMINIUM RECORDED SEPT. 4, 1980 IN VOLUME 2191 OF RECORDS, PAGE 49 AS DOCUMENT NO. 1678367
1403 THERESA TERRACE (PARCEL#: 2510708-364-2202-5)
 - UNIT TWO OF WESTVALE CONDOMINIUM NO. 1, LOCATED IN THE CITY OF MADISON AND CREATED UNDER THE WI CONDOMINIUM ACT BY DECLARATION OF CONDOMINIUM RECORDED SEPT. 4, 1980 IN THE OFFICE OF THE REGISTER OF DEEDS FOR DANE COUNTY AS DOCUMENT NO. 1678366 AND PLAT OF CONDOMINIUM RECORDED SEPT. 4, 1980 IN VOLUME 2191 OF RECORDS, PAGE 49 AS DOCUMENT NO. 1678367

NOTES
 1. STREET TREE PRUNING SHALL BE COORDINATED W/ CITY FORESTRY MIN. TWO WEEKS PRIOR TO START OF CONSTRUCTION. PRUNING SHALL FOLLOW AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) 300
 2. STREET TREE PROTECTION REQ. FENCING SHALL BE ERECTED BEFORE DEMOLITION BEGINS. FENCE SHALL INCLUDE ENTIRE WIDTH OF TERRACE AND EXTEND 5 FT BOTH SIDES OF OUTSIDE OF TREE TRUNK. DO NOT REMOVE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS.
 3. STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIP., BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN 5 FT OF TREE OR WITHIN PROTECTION ZONE IS PROHIBITED
 4. NO EXCAVATION PERMITTED WITHIN 5 FT OF TRUNK OF STREET TREE OR WHEN CUTTING ROOTS OVER 3IN IN DIAMETER. IF EXCAVATION IS NECESSARY, CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY.
 5. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL NOT DAMAGE THE BRANCHES OF STREET TREES
 6. ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE PLAN COMMISSION MEETING
 7. INSTALL FIRE SPRINKLER PROTECTION IN ACCORDANCE W/ NFPA 13D

SHEET NUMBER	SHEET NAME
C-1	SITE PLAN
C-1.2	FIRE DEPARTMENT ACCESS PLAN
C-1.3	EXISTING CONDITIONS
C-1.4	DEMOLITION PLAN
C-1.5	SITE PLAN
C-1.6	GRADING AND EROSION CONTROL PLAN
C-1.7	UTILITY PLAN
L-1	LANDSCAPE PLAN
A-1	BASEMENT/FIRST FLOOR PLANS
A-1.1	SECOND FLOOR/ROOF PLANS
A-2.1	EXTERIOR ELEVATIONS - COLOR
A-2.2	EXTERIOR ELEVATIONS - COLOR
A-2.3	EXTERIOR ELEVATIONS
A-2.4	EXTERIOR ELEVATIONS



1 SITE PLAN



Mottis Morrison Tills Studio
 841 W. Lakeside St. Suite A
 Madison, WI 53715
 608.709.1430
 info@mottisarch.com

CONSULTANTS

THERESA TERRACE
 1401-1403 THERESA TERRACE, MADISON, WI
 53711

No.	Description	Date
1	REV SITE PLAN REVIEW	03/10/23
2	REV 02 SITE PLAN REVIEW	05/05/23

PROJECT NO: 2204
 DATE: 05/05/2023
 SHEET TITLE

SITE PLAN

C-1

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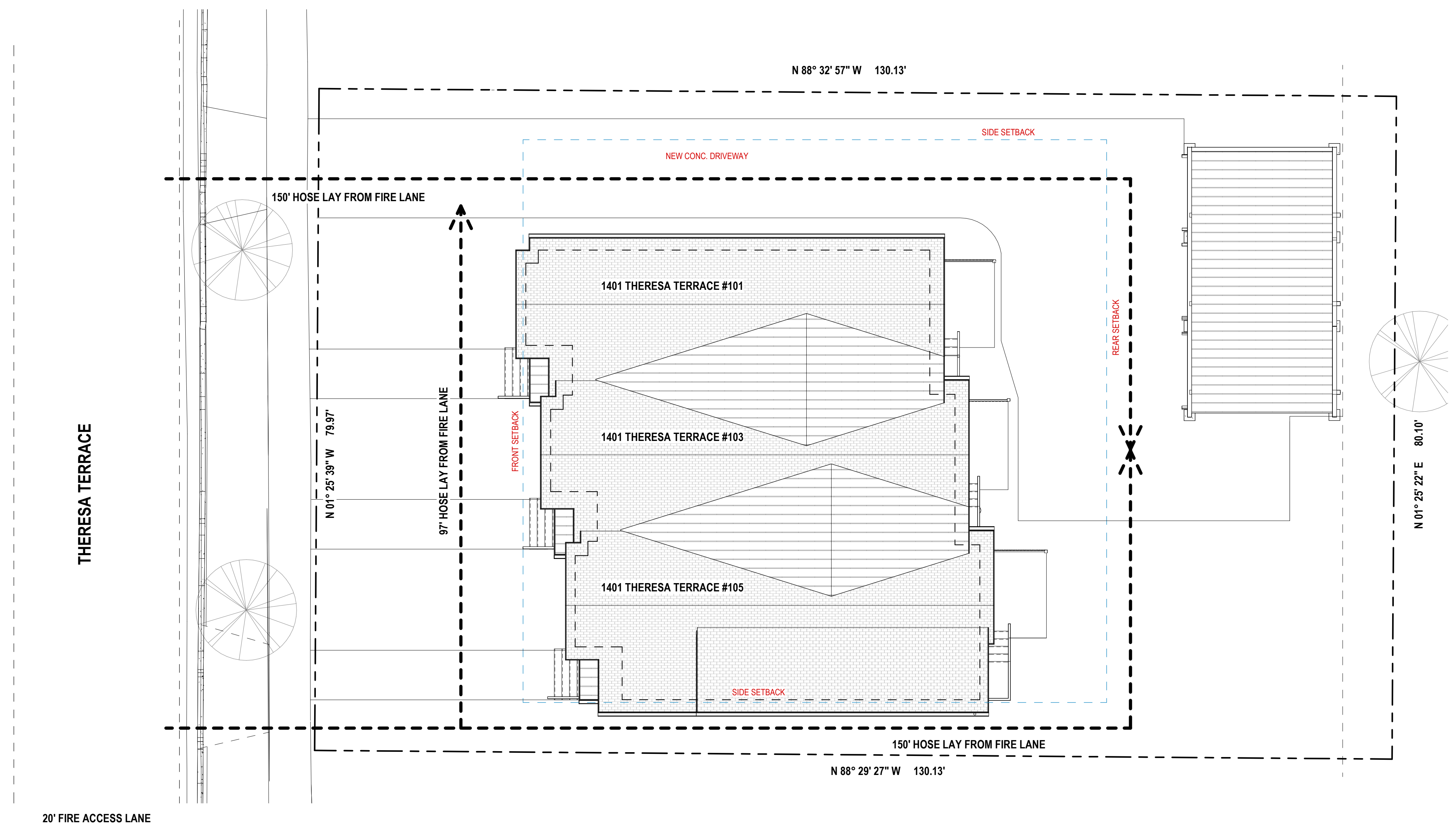
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1 SITE PLAN



MOTIS
Morrison Tills
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608.709.1430
info@motisarch.com

CONSULTANTS

THERESA TERRACE
1401-1403 THERESA TERRACE, MADISON, WI
53711

No.	Description	Date
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2	REV 02 SITE PLAN REVIEW	05/05/23

PROJECT NO: 2204

DATE: 05/05/2023

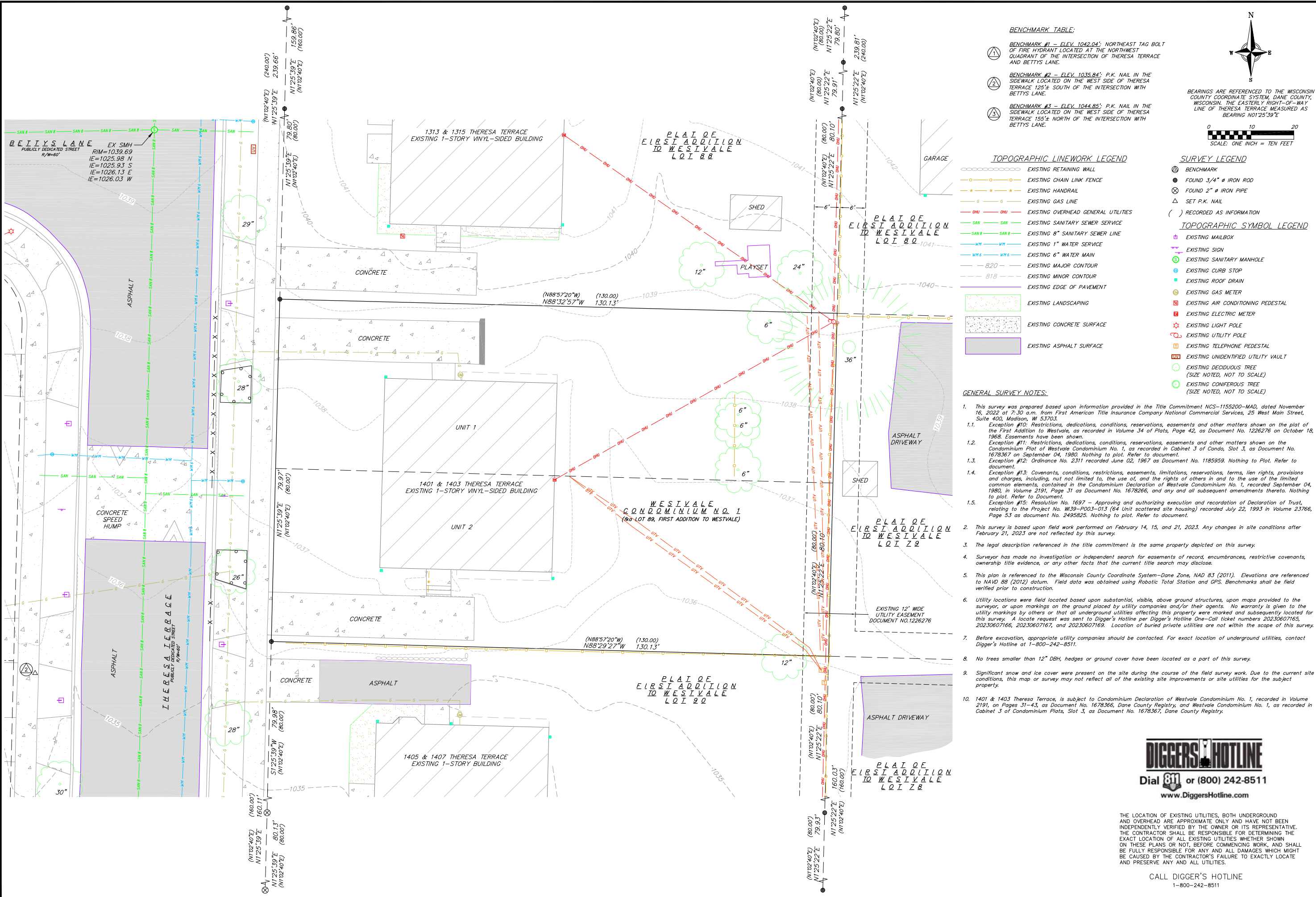
SHEET TITLE

FIRE
DEPARTMENT
ACCESS PLAN

C - 1.2

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BENCHMARK TABLE:

- BENCHMARK #1** - ELEV. 1042.04'; NORTHEAST TAG BOLT OF FIRE HYDRANT LOCATED AT THE NORTHWEST QUADRANT OF THE INTERSECTION OF THERESA TERRACE AND BETTYS LANE.
- BENCHMARK #2** - ELEV. 1035.84'; P.K. NAIL IN THE SIDEWALK LOCATED ON THE WEST SIDE OF THERESA TERRACE 125'± SOUTH OF THE INTERSECTION WITH BETTYS LANE.
- BENCHMARK #3** - ELEV. 1044.85'; P.K. NAIL IN THE SIDEWALK LOCATED ON THE WEST SIDE OF THERESA TERRACE 155'± NORTH OF THE INTERSECTION WITH BETTYS LANE.



BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, WISCONSIN. THE EASTERLY RIGHT-OF-WAY LINE OF THERESA TERRACE MEASURED AS BEARING N01°25'39"E

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING RETAINING WALL
- EXISTING CHAIN LINK FENCE
- EXISTING HANDRAIL
- EXISTING GAS LINE
- EXISTING OVERHEAD GENERAL UTILITIES
- EXISTING SANITARY SEWER SERVICE
- EXISTING 8" SANITARY SEWER LINE
- EXISTING 1" WATER SERVICE
- EXISTING 6" WATER MAIN
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING EDGE OF PAVEMENT
- EXISTING LANDSCAPING
- EXISTING CONCRETE SURFACE
- EXISTING ASPHALT SURFACE

SURVEY LEGEND

- BENCHMARK
- FOUND 3/4" # IRON ROD
- FOUND 2" # IRON PIPE
- SET P.K. NAIL
- RECORDED AS INFORMATION

TOPOGRAPHIC SYMBOL LEGEND

- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING CURB STOP
- EXISTING ROOF DRAIN
- EXISTING GAS METER
- EXISTING AIR CONDITIONING PEDESTAL
- EXISTING ELECTRIC METER
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING UNIDENTIFIED UTILITY VAULT
- EXISTING DECIDUOUS TREE (SIZE NOTED, NOT TO SCALE)
- EXISTING CONIFEROUS TREE (SIZE NOTED, NOT TO SCALE)

GENERAL SURVEY NOTES:

- This survey was prepared based upon information provided in the Title Commitment NCS-1155200-MAD, dated November 16, 2022 at 7:30 a.m. from First American Title Insurance Company National Commercial Services, 25 West Main Street, Suite 400, Madison, WI 53703.
 - Exception #10: Restrictions, dedications, conditions, reservations, easements and other matters shown on the plat of the First Addition to Westvale, as recorded in Volume 34 of Plats, Page 42, as Document No. 1226276 on October 18, 1968. Easements have been shown.
 - Exception #11: Restrictions, dedications, conditions, reservations, easements and other matters shown on the Condominium Plat of Westvale Condominium No. 1, as recorded in Cabinet J of Condo, Slot 3, as Document No. 1678367 on September 04, 1980. Nothing to plot. Refer to document.
 - Exception #12: Ordinance No. 2311 recorded June 02, 1967 as Document No. 1185959. Nothing to Plot. Refer to document.
 - Exception #13: Covenants, conditions, restrictions, easements, limitations, reservations, terms, lien rights, provisions and charges, including, but not limited to, the use of, and the rights of others in and to the use of the limited common elements, contained in the Condominium Declaration of Westvale Condominium No. 1, recorded September 04, 1980, in Volume 2191, Page 31 as Document No. 1678266, and any and all subsequent amendments thereto. Nothing to plot. Refer to Document.
 - Exception #15: Resolution No. 1697 - Approving and authorizing execution and recordation of Declaration of Trust, relating to the Project No. W139-P003-013 (04 Unit scattered site housing) recorded July 22, 1993 in Volume 23766, Page 53 as document No. 2495825. Nothing to plot. Refer to document.
- This survey is based upon field work performed on February 14, 15, and 21, 2023. Any changes in site conditions after February 21, 2023 are not reflected by this survey.
- The legal description referenced in the title commitment is the same property depicted on this survey.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that the current title search may disclose.
- This plan is referenced to the Wisconsin County Coordinate System-Dane Zone, NAD 83 (2011). Elevations are referenced to NAVD 88 (2012) datum. Field data was obtained using Robotic Total Station and GPS. Benchmarks shall be field verified prior to construction.
- Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket numbers 20230607165, 20230607166, 20230607167, and 20230607169. Location of buried private utilities are not within the scope of this survey.
- Before excavation, appropriate utility companies should be contacted. For exact location of underground utilities, contact Digger's Hotline at 1-800-242-8511.
- No trees smaller than 12" DBH, hedges or ground cover have been located as a part of this survey.
- Significant snow and ice cover were present on the site during the course of the field survey work. Due to the current site conditions, this map or survey may not reflect all of the existing site improvements or site utilities for the subject property.
- 1401 & 1403 Theresa Terrace, is subject to Condominium Declaration of Westvale Condominium No. 1, recorded in Volume 2191, on Pages 31-43, as Document No. 1678366, Dane County Registry, and Westvale Condominium No. 1, as recorded in Cabinet J of Condominium Plats, Slot 3, as Document No. 1678367, Dane County Registry.

DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
 www.DiggersHotline.com

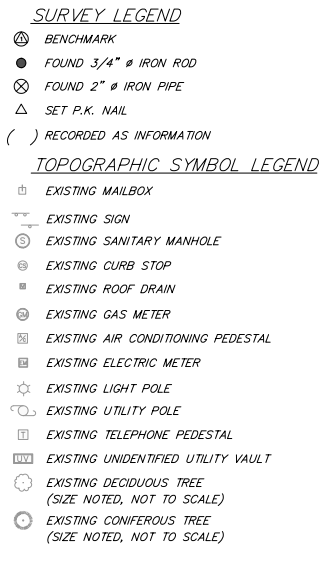
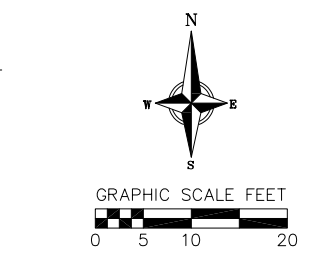
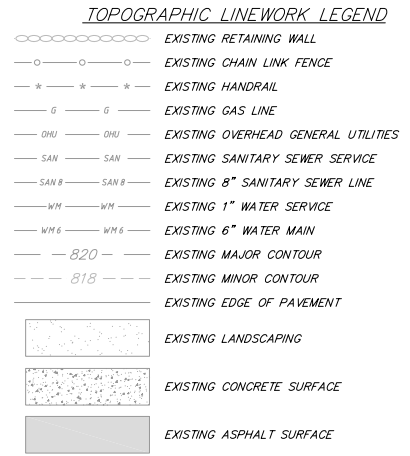
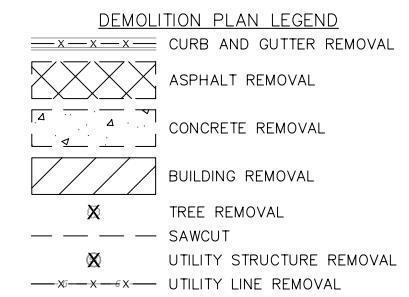
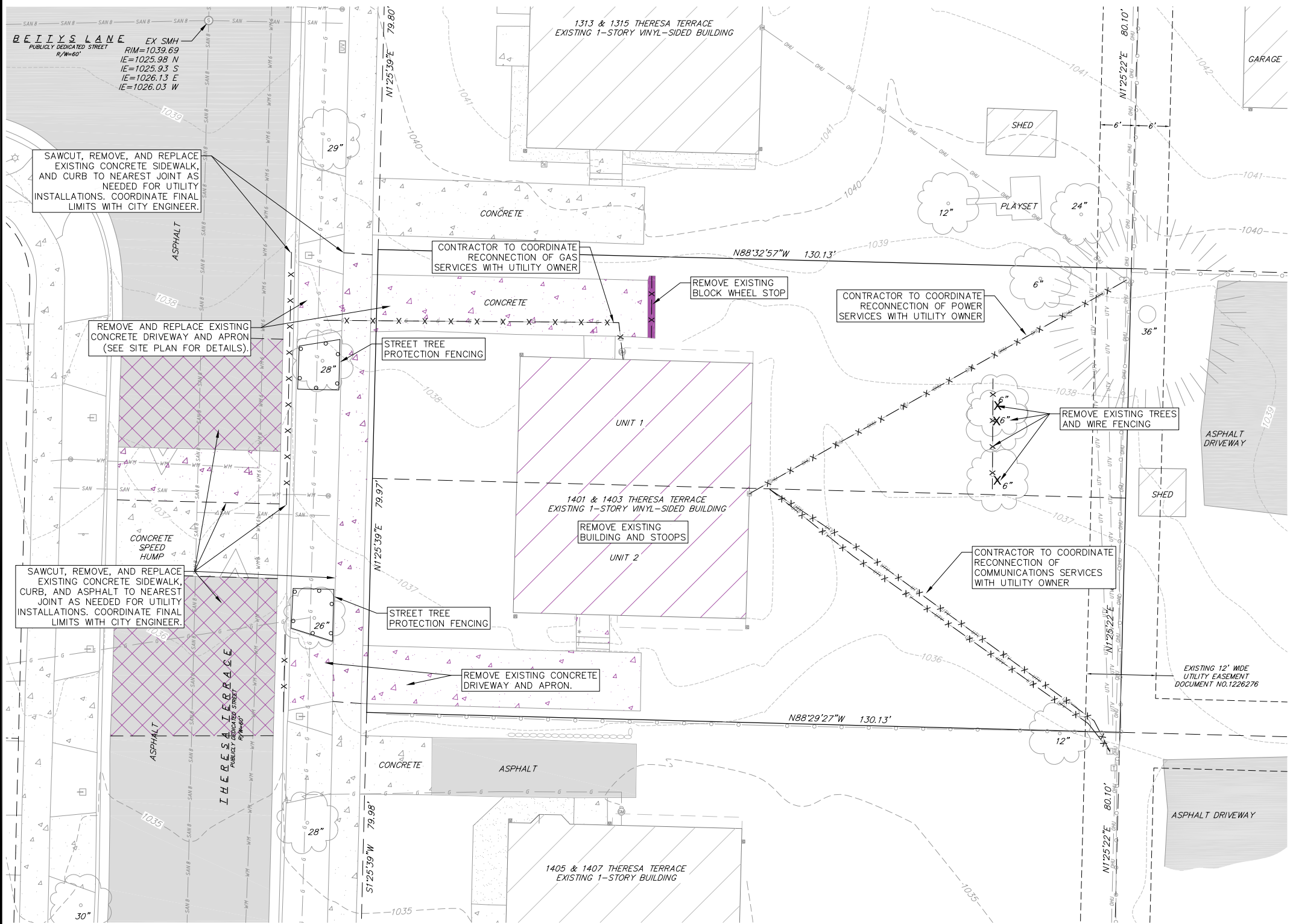
THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
 1-800-242-8511

Existing Conditions
 1401-1403 Theresa Terrace
 Madison
 Dane County, WI

REVISIONS		NO.	DATE	REMARKS

DATE: 04/28/2023
 DRAFTER: AMEA
 CHECKED: MMAR
 PROJECT NO.: 220354



SAWCUT, REMOVE, AND REPLACE EXISTING CONCRETE SIDEWALK, AND CURB TO NEAREST JOINT AS NEEDED FOR UTILITY INSTALLATIONS. COORDINATE FINAL LIMITS WITH CITY ENGINEER.

REMOVE AND REPLACE EXISTING CONCRETE DRIVEWAY AND APRON (SEE SITE PLAN FOR DETAILS).

SAWCUT, REMOVE, AND REPLACE EXISTING CONCRETE SIDEWALK, CURB, AND ASPHALT TO NEAREST JOINT AS NEEDED FOR UTILITY INSTALLATIONS. COORDINATE FINAL LIMITS WITH CITY ENGINEER.

CONTRACTOR TO COORDINATE RECONNECTION OF GAS SERVICES WITH UTILITY OWNER

REMOVE EXISTING BLOCK WHEEL STOP

CONTRACTOR TO COORDINATE RECONNECTION OF POWER SERVICES WITH UTILITY OWNER

STREET TREE PROTECTION FENCING

REMOVE EXISTING TREES AND WIRE FENCING

REMOVE EXISTING BUILDING AND STOOPS

CONTRACTOR TO COORDINATE RECONNECTION OF COMMUNICATIONS SERVICES WITH UTILITY OWNER

REMOVE EXISTING CONCRETE DRIVEWAY AND APRON.

EXISTING 12" WIDE UTILITY EASEMENT DOCUMENT NO.1226276

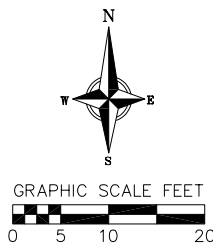
DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
 www.DiggersHotline.com

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

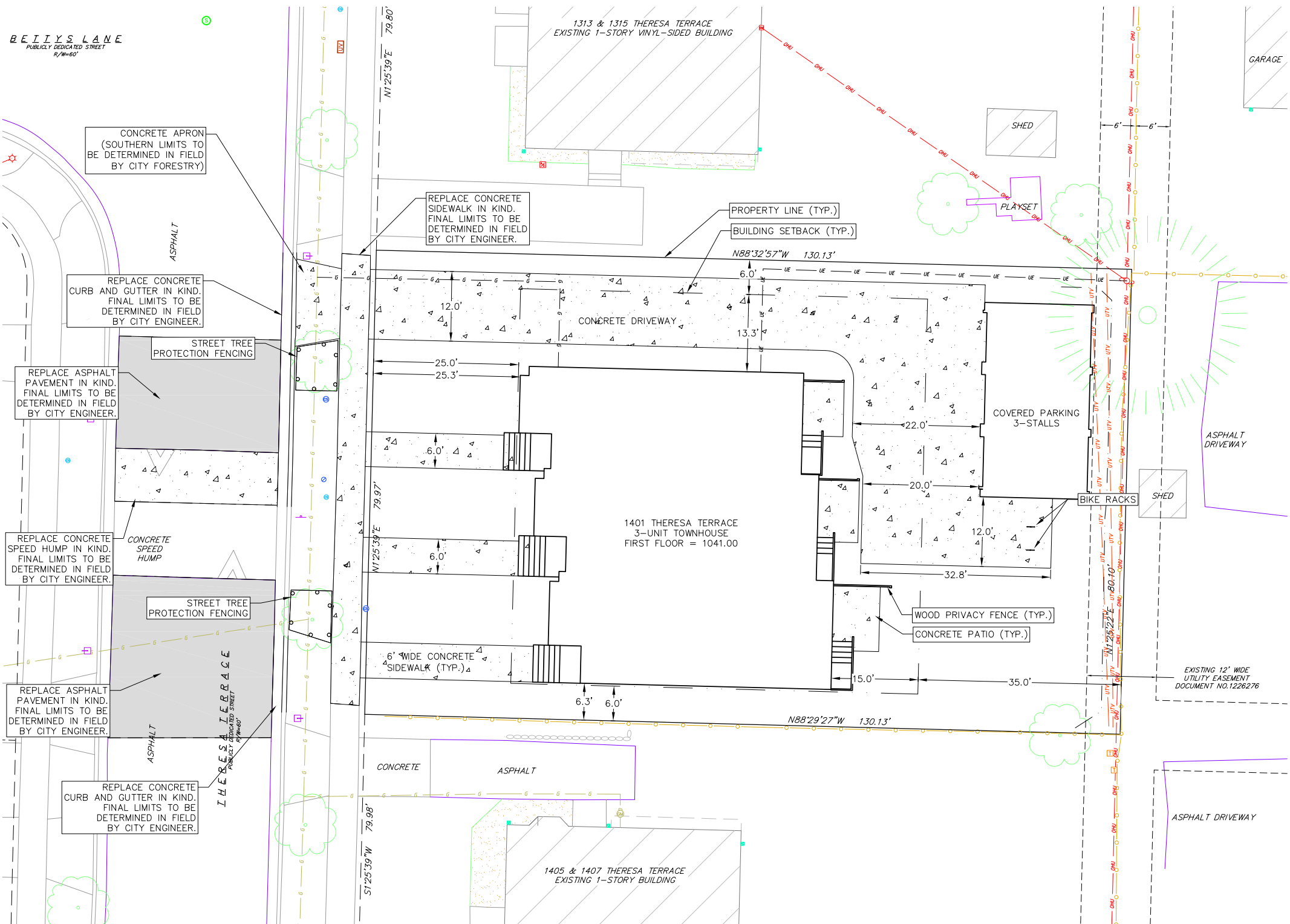
CALL DIGGER'S HOTLINE
 1-800-242-8511

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 04/28/2023
 DRAFTER: AMEA
 CHECKED: RKOL
 PROJECT NO.: 220354



BEI IYS LANE
PUBLICLY DEDICATED STREET
R/W=60'



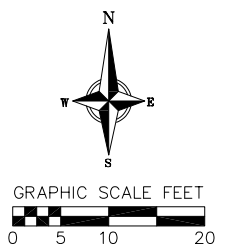
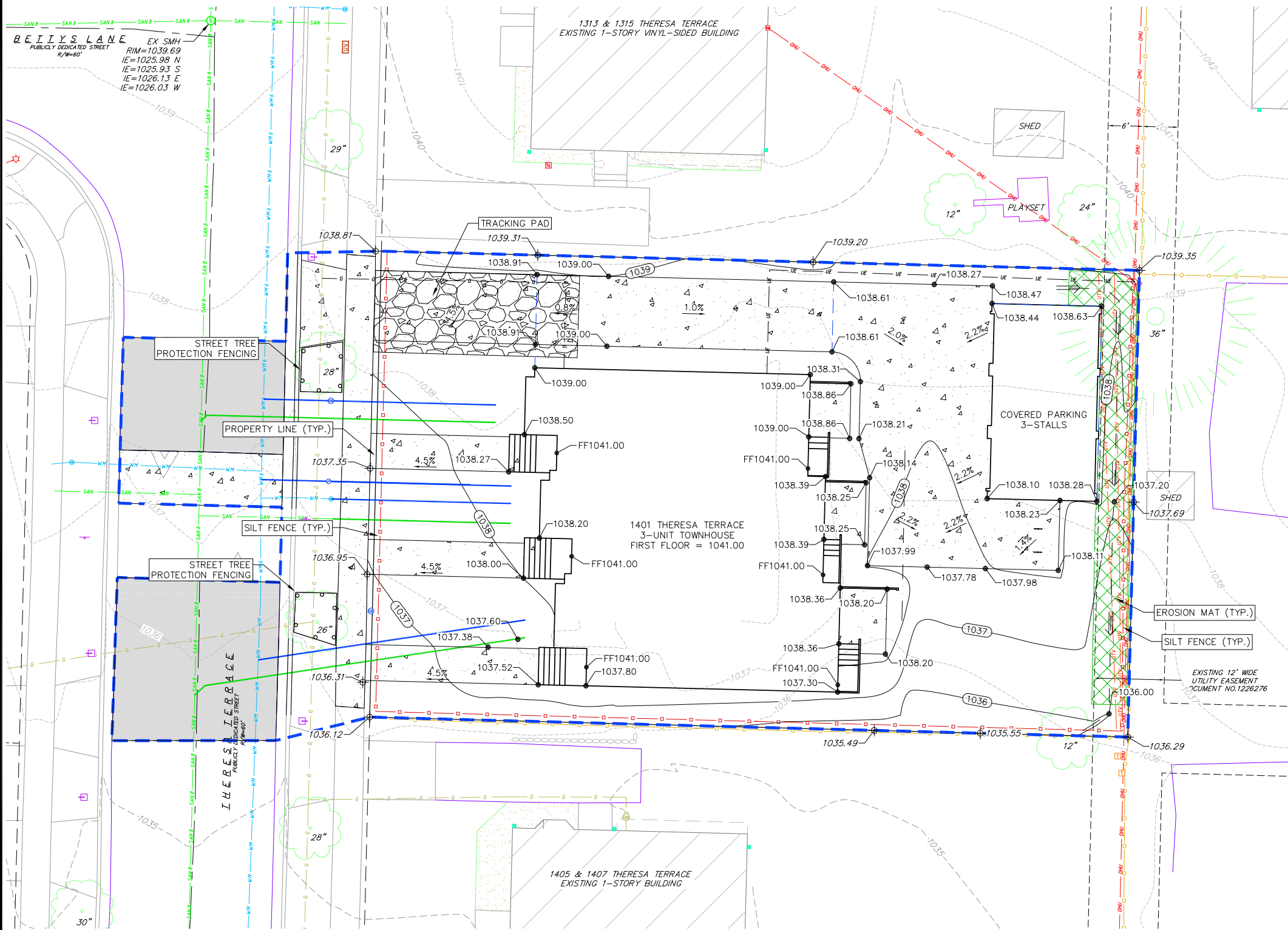
- SITE PLAN LEGEND**
- PROPERTY BOUNDARY
 - g—g— GAS SERVICE
 - UE—UE— ELECTRIC SERVICE
 - ▨ PROPOSED CONCRETE
 - ▩ PROPOSED ASPHALT

SITE PLAN NOTES:

1. CONCRETE TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
2. CONCRETE FOR DRIVEWAYS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 5" COMPACTED SAND OR CRUSHED STONE.
3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
5. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
6. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
7. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
8. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
9. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/BUSINESS/PW/SPECS.CFM)
10. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/BUSINESS/PW/SPECS.CFM)) ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
11. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERRECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
12. STREET TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. CONTACT CITY FORESTRY AT (608) 266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.

Site Plan
1401-1403 Theresa Terrace
Madison
Dane County, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE



- GRADING LEGEND**
- - - 820 - - - EXISTING MAJOR CONTOURS
 - - - 818 - - - EXISTING MINOR CONTOURS
 - (820) - - - PROPOSED MAJOR CONTOURS
 - (818) - - - PROPOSED MINOR CONTOURS
 - - - - - DITCH CENTERLINE
 - - - - - SILT FENCE
 - - - - - DISTURBED LIMITS
 - ⇒ - - - - - DRAINAGE DIRECTION
 - ↗ - - - - - PROPOSED SLOPE ARROWS
 - ⊕ 1048.61 - - - - - EXISTING SPOT ELEVATIONS
 - ⊕ 1048.61 - - - - - PROPOSED SPOT ELEVATIONS
 - ⌒ - - - - - STONE WEEPER
 - [Green Hatched] - - - - - EROSION MAT CLASS II, TYPE B
 - [Black Hatched] - - - - - TRACKING PAD

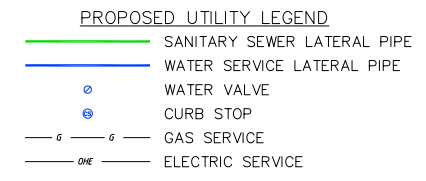
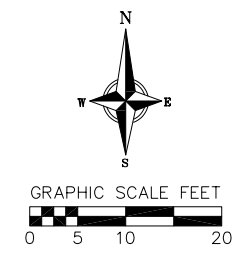
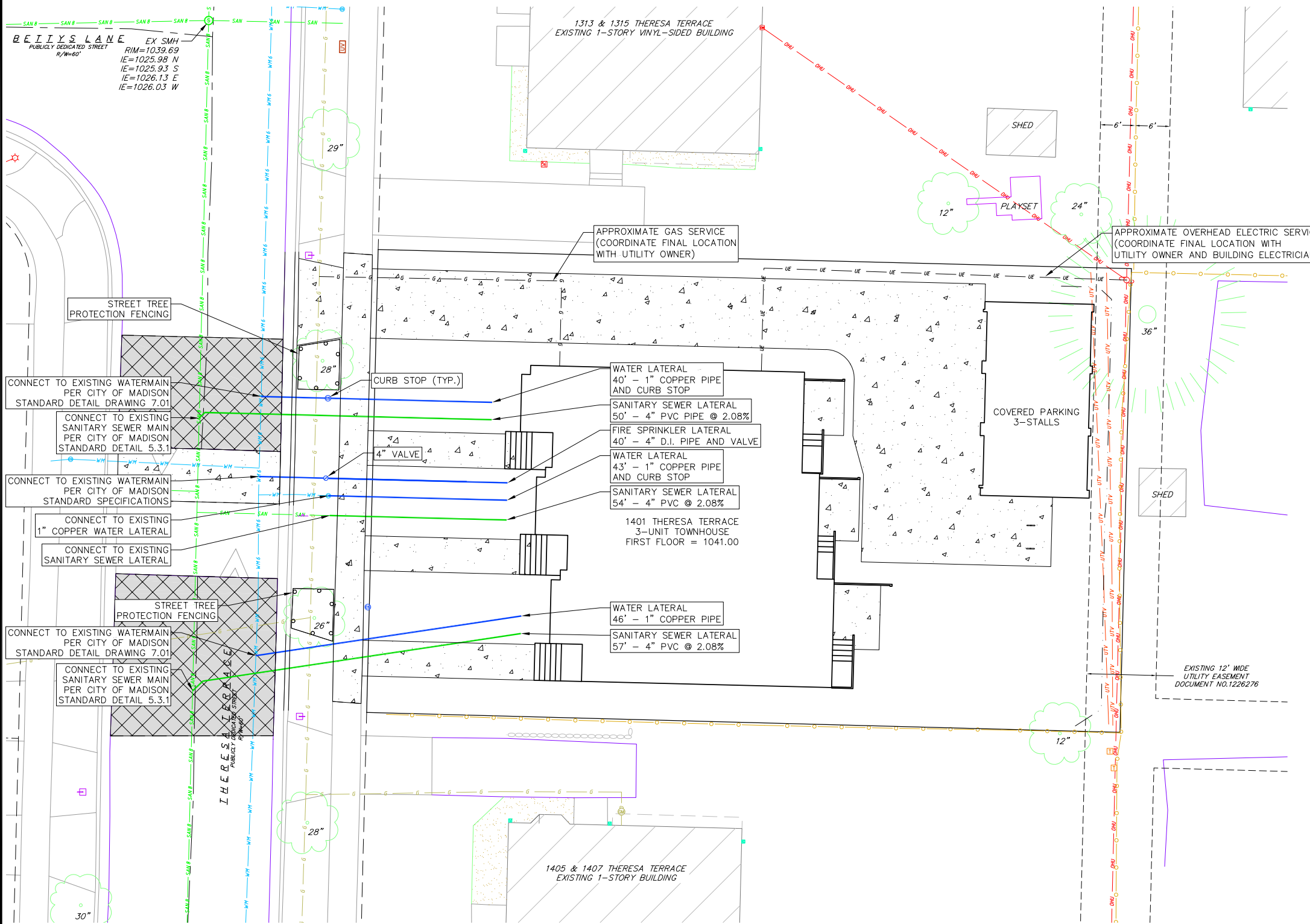
- GRADING NOTES:**
1. CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
 2. ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
 3. CROSS SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
 4. LONGITUDINAL GRADE OF SIDEWALK RAMP SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
 5. LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
 6. ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMP SHALL BE 8.33% MAX SLOPE.
 7. NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
 8. SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
 9. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.

Grading and Erosion Control Plan
 1401-1403 Theresa Terrace
 Madison
 Dane County, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

DATE: 04/28/2023
 DRAFTER: AMEA
 CHECKED: RKOL
 PROJECT NO.: 220354





- UTILITY NOTES:**
- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
 - CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (WATER VALVES, AND CURB STOPS), IF NECESSARY.
 - IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
 - A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
 - PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
 - PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
 - PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
 - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
 - EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
 - NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
 - SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
 - CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
 - ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
 - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
 - AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)

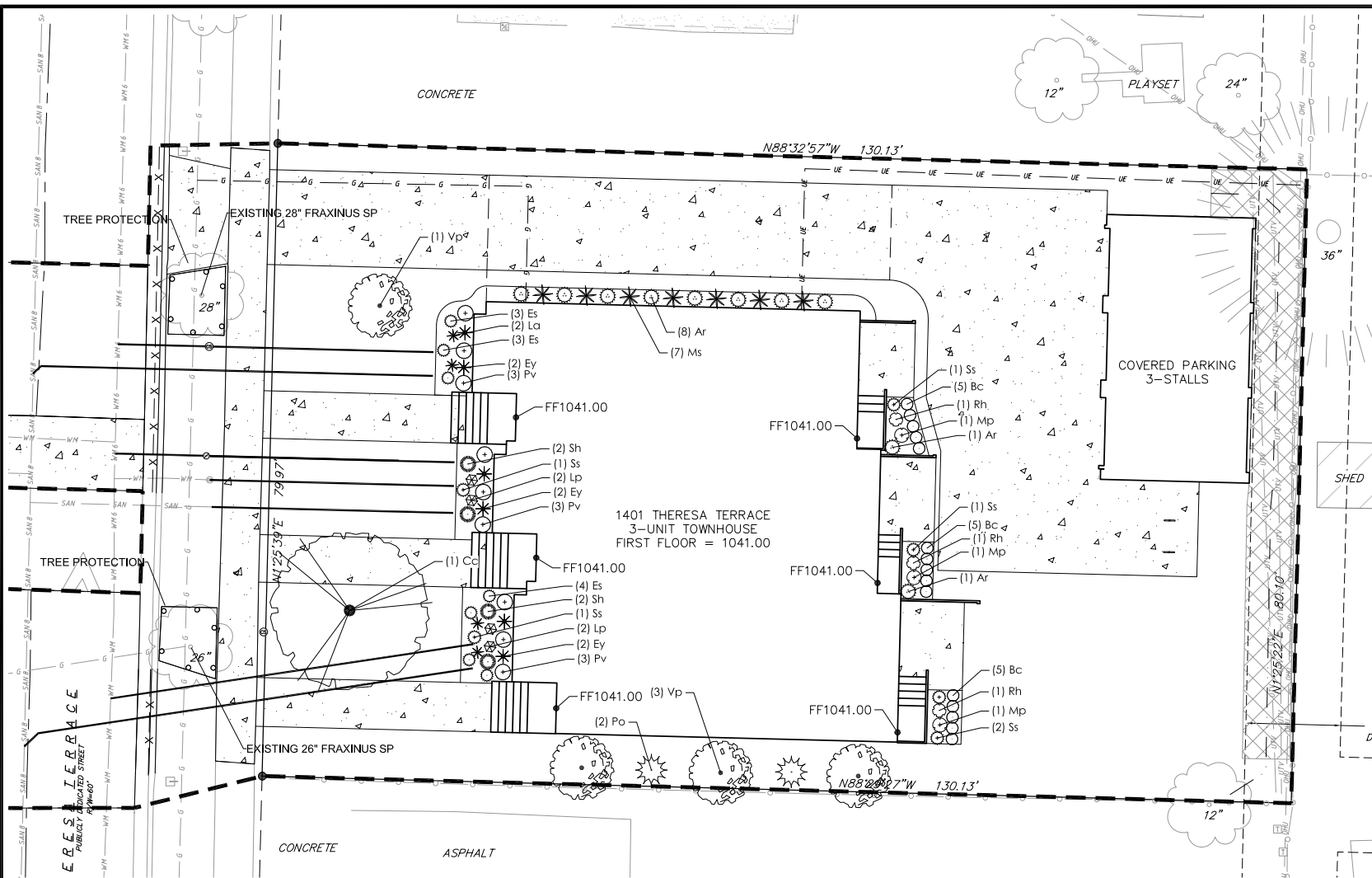
vierbicher
planners | engineers | advisors

Utility Plan
1401-1403 Theresa Terrace
Madison
Dane County, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE

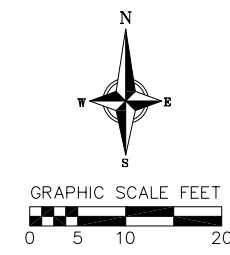
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 CHECKED: RKOL
 PROJECT NO.: 220354

C - 1.7



PLANT SCHEDULE

UNDERSTORY TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Cc	Carpinus caroliniana / American Hornbeam	B & B	7' ht.	2
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Po	Physocarpus opulifolius / Ninebark	Cont.	5 Gal.	4
Vp	Viburnum prunifolium / Blackhaw Viburnum	B & B	4' ht.	8
PERENNIALS SHADE	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Ar	Actaea racemosa / Black Snakeroot	Cont.	1 Gal.	14
Ms	Matteuccia struthiopteris / Ostrich Fern	Cont.	1 Gal.	14
PERENNIALS SUN	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Bc	Bouteloua curtipendula / Side Oats Grama	Cont.	Pint	30
Es	Eragrostis spectabilis / Purple Lovegrass	Cont.	Pint	14
Ey	Eryngium yuccifolium / Rattlesnake Master	Cont.	1 Gal.	12
La	Liatris aspera / Rough Blazing Star	Cont.	1 Gal.	8
Lp	Liatris pycnostachya / Gayfeather	Cont.	1 Gal.	8
Mp	Monarda punctata / Spotted Horsemint	Cont.	Pint	6
Pv	Panicum virgatum / Switch Grass	Cont.	1 Gal.	18
Rh	Rudbeckia hirta / Black-eyed Susan	Cont.	Pint	6
Ss	Schizachyrium scoparium / Little Bluestem	Cont.	1 Gal.	12
Sh	Sporobolus heterolepis / Prairie Dropseed	Cont.	1 Gal.	8



City of Madison Landscape Worksheet						
Address: 1401-1403 Theresa Terrace		Date:	4/18/2023			
Total Square Footage of Developed Area:	(Site Area)		(Building Footprint at Grade)	=	7870.3	sf
	10412.8		2542.5			
Total Landscape Points Required (<5 ac):	7,870	/ 300 =	26	x 5 =	131	131
Landscape Points Required >5 ac:		/ 100 =	0	x 1 =		
Plant Type/ Element	Min. Size at Installation	Points	Credits/ Existing Landscaping		New/ Proposed Landscaping	
			Quantity	Points Achieved	Quantity	Points Achieved
Overstory deciduous tree	2.5" cal	35	0	0	0	0
Tall Evergreen Tree	5-6 feet tall	35	0	0	0	0
Ornamental tree	1.5" cal	15	0	1	15	
Upright evergreen shrub	3-4 feet tall	10	0	0	0	0
Shrub, deciduous	#3 gallon	3	0	7	21	
Shrub, evergreen	#3 gallon	4	0	0	0	0
Ornamental grasses/perennials	#1 gallon	2	0	50	100	
Ornamental/decorative fencing or wall	n/a	4 per 10 LF	0	0	0	0
Existing significant specimen tree	Min. Size 2.5" cal.	14 per caliper inch.	0	0	0	0
Landscape Furniture for public seating and/or transit connections		5 points per "seat"	0	0	0	0
Sub Totals					136	136
Total Points Provided:			136			

PLANT MATERIAL NOTES:

- ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
- ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
- CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
- ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.
- EXACT LOCATIONS OF EACH PLANT ARE GIVEN IN PLAN, WHILE SLIGHT DEVIATIONS ARE ACCEPTABLE. OVERALL SCHEMATIC/ORIENTATION TO BE ADHERED TO AS ACCURATELY AS POSSIBLE.

LANDSCAPE MATERIAL NOTES:

- CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDDED/SODDED.
- SUBSOIL UNDER TURF AND PLANTING BEDS MUST BE FREE DRAINING AND LOOSE TO ALLOW ROOT PENETRATION AND DRAINAGE. LANDSCAPE CONTRACTOR SHOULD NOTIFY GENERAL CONTRACTOR IF SUBSURFACE COMPACTION IS UNFIT FOR PLANTING. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR SUBSURFACE SOIL PREPARATION.
- LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN.
- LANDSCAPE BEDS ARE SEPARATED FROM SEEDDED AREAS WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE 1/2"x4" OR EQUAL, COLOR BLACK ANODIZED.
- ALL TREES AND/OR SHRUBS PLANTED IN SEEDDED AREAS TO BE INSTALLED WITH A 5' DIAMETER MULCH RING AND SHOVEL CUT EDGE. A SLOW RELEASE FERTILIZER AND MYCORRHIZAL INOCULANT SHOULD BE APPLIED TOPICALLY AT TIME OF PLANTING PRIOR TO MULCH APPLICATION. APPLICATION RATES TO REFLECT MANUFACTURER SPECIFICATIONS.

SEEDING AND PLUG PLANTING NOTES:

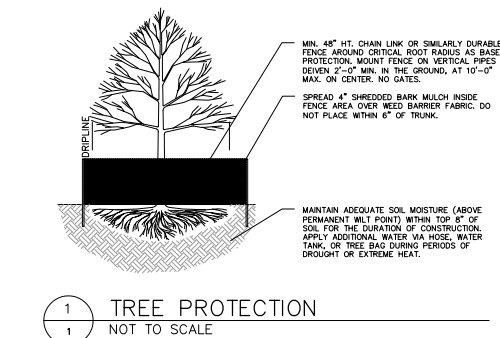
- ALL UNLABELED DISTURBED AREAS TO BE SEEDDED WITH 'LOW MAINTENANCE LAWN BLEND' BY PRAIRIE MOON OR EQUIVALENT, PER MANUFACTURER'S SPECIFIED APPLICATION RATES. ALL TURF SEEDDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY 1/2" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE. PRIOR TO SEEDING APPLY A MINIMUM OF 4" TOPSOIL TO ENTIRE AREA. FOLLOWING SEEDING APPLY A MULCH LAYER OF STRAW OR STRAW MAT.

CITY OF MADISON STREET TREE NOTES:

- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHOSE DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
- CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
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- SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)) ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERRECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
- STREET TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. CONTACT CITY FORESTRY AT (608)266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.

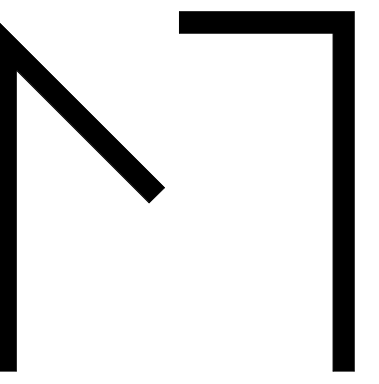
NOTES:

- CRITICAL ROOT RADIUS (IN FEET) = 1" X DBH
1.1. EXAMPLE: 6" DBH TREE = 6' RADIUS
- ONLY HANDWORK ALLOWED WITHIN CRITICAL ROOT RADIUS. NO TRAFFIC OR STORAGE OF MATERIALS ALLOWED. NO EQUIPMENT SHALL BE OPERATED WITHIN THE CRITICAL ROOT RADIUS INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
- NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
- ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERRECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.



NO.	DATE	REVISIONS	REMARKS

DATE: 04/28/2023
DRAFTER: EGOR
CHECKED: RKOL
PROJECT NO.: 220354



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53711

No.	Description	Date
1	REV SITE PLAN REVIEW	05/10/23
2	REV 02 SITE PLAN REVIEW	05/05/23

PROJECT NO: **2204**

DATE: 05/05/2023

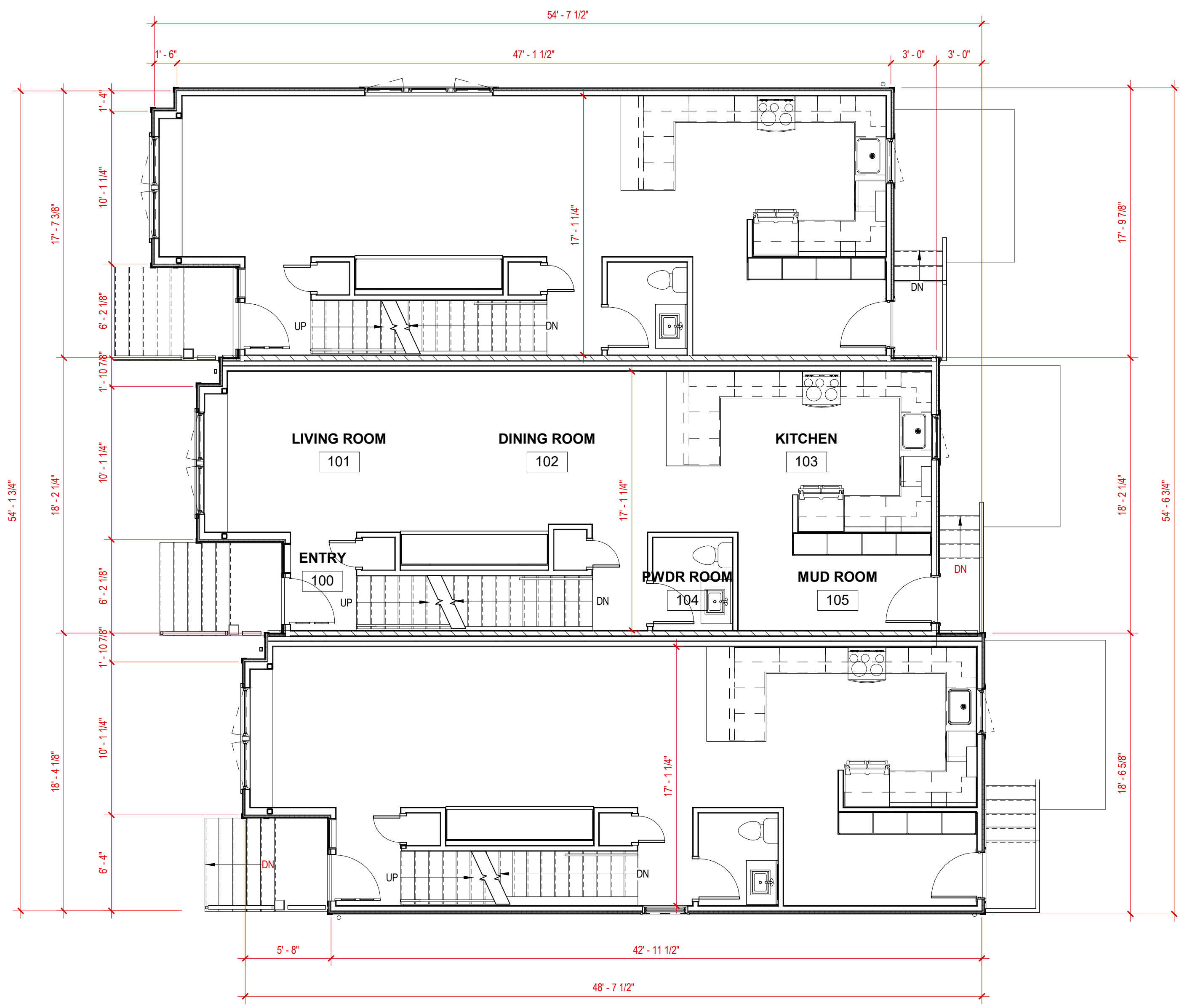
SHEET TITLE

BASEMENT/FIRST FLOOR PLANS

A - 1

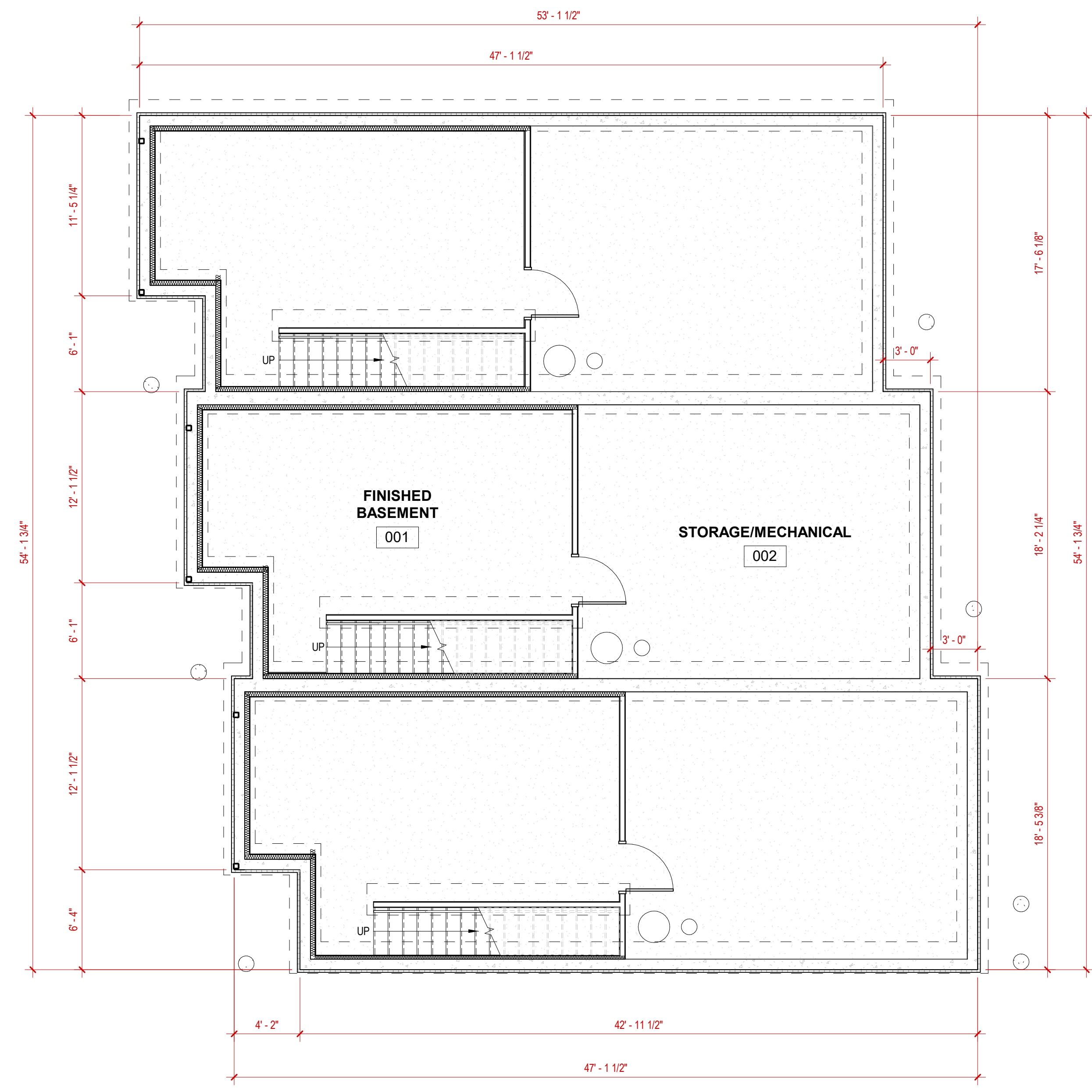
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2 FIRST FLOOR PLAN

3/16" = 1'-0"



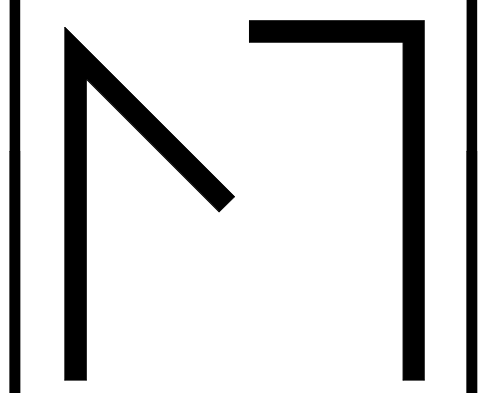
1 BASEMENT PLAN

3/16" = 1'-0"

3/16" = 1'-0"

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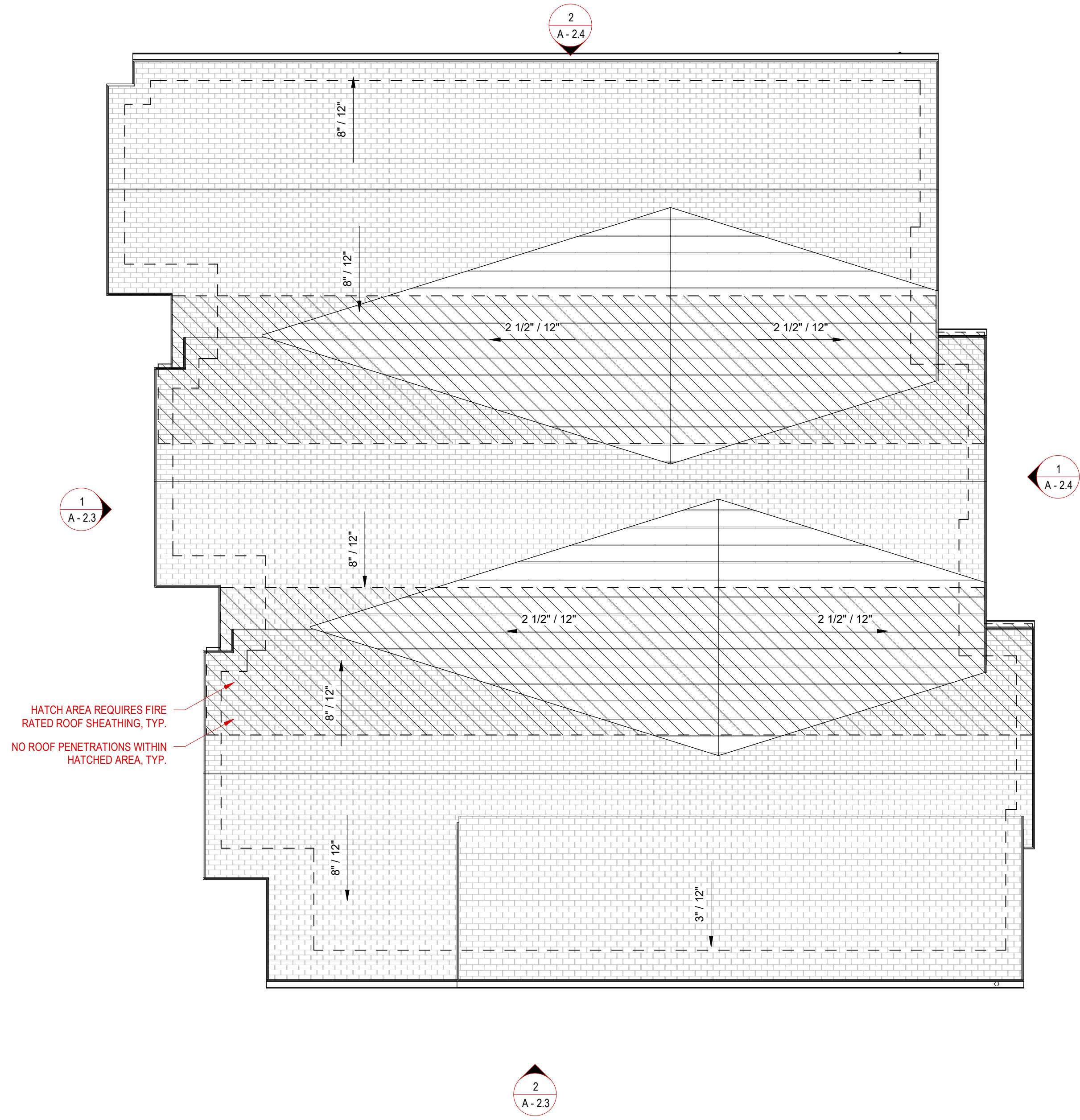
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SECOND FLOOR/ROOF PLANS

A - 1.1

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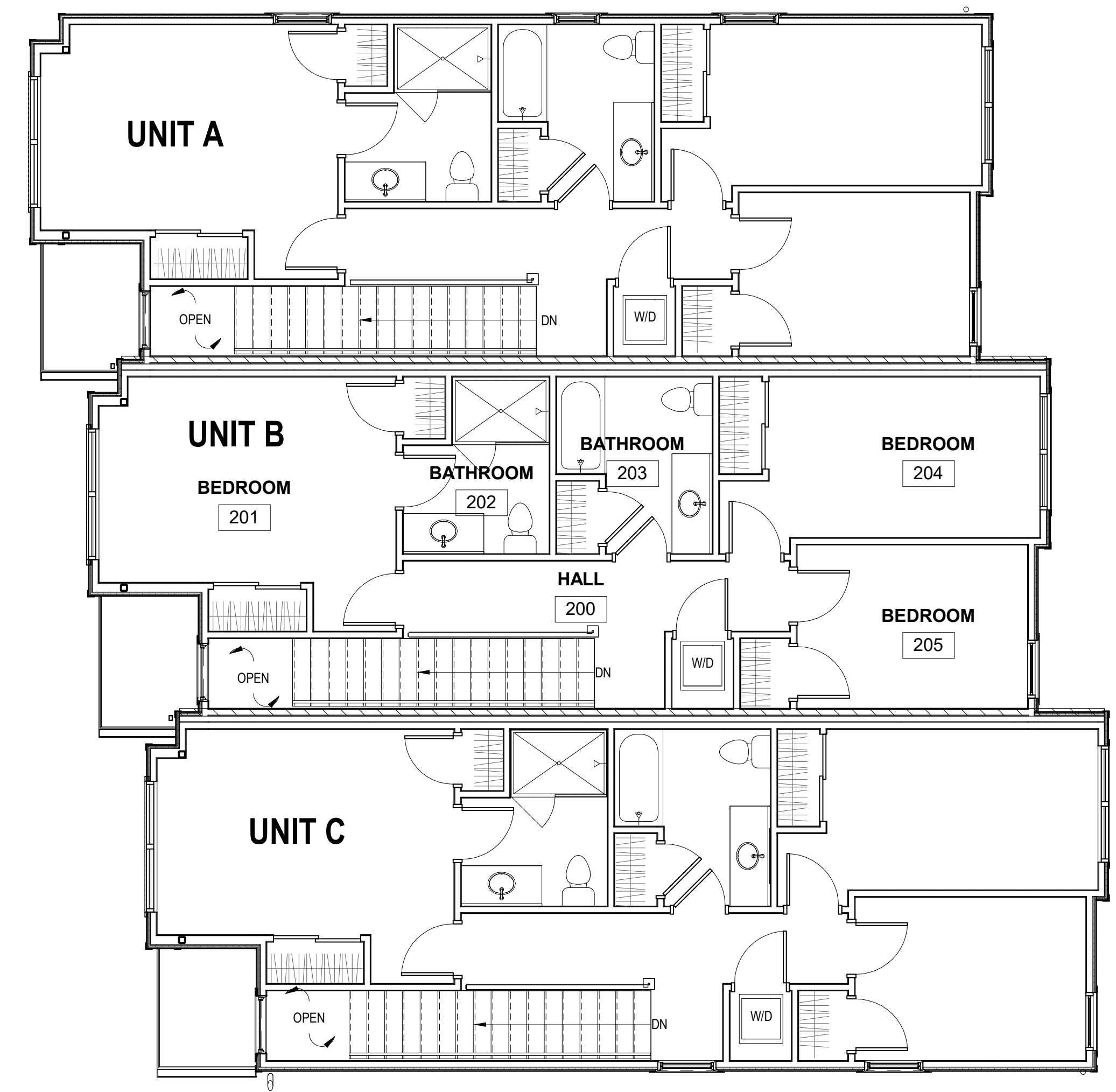
HATCH AREA REQUIRES FIRE RATED ROOF SHEATHING, TYP.
NO ROOF PENETRATIONS WITHIN HATCHED AREA, TYP.



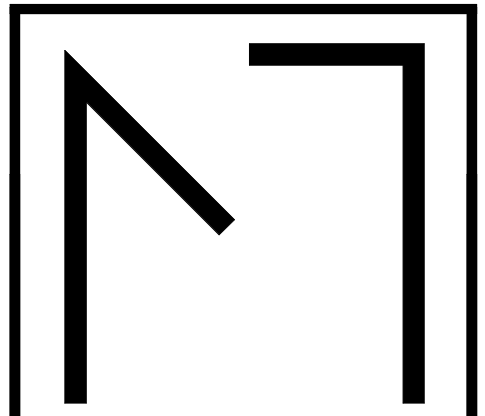
2 ROOF PLAN

3/16" = 1'-0"

1 SECOND FLOOR PLAN



3/16" = 1'-0"



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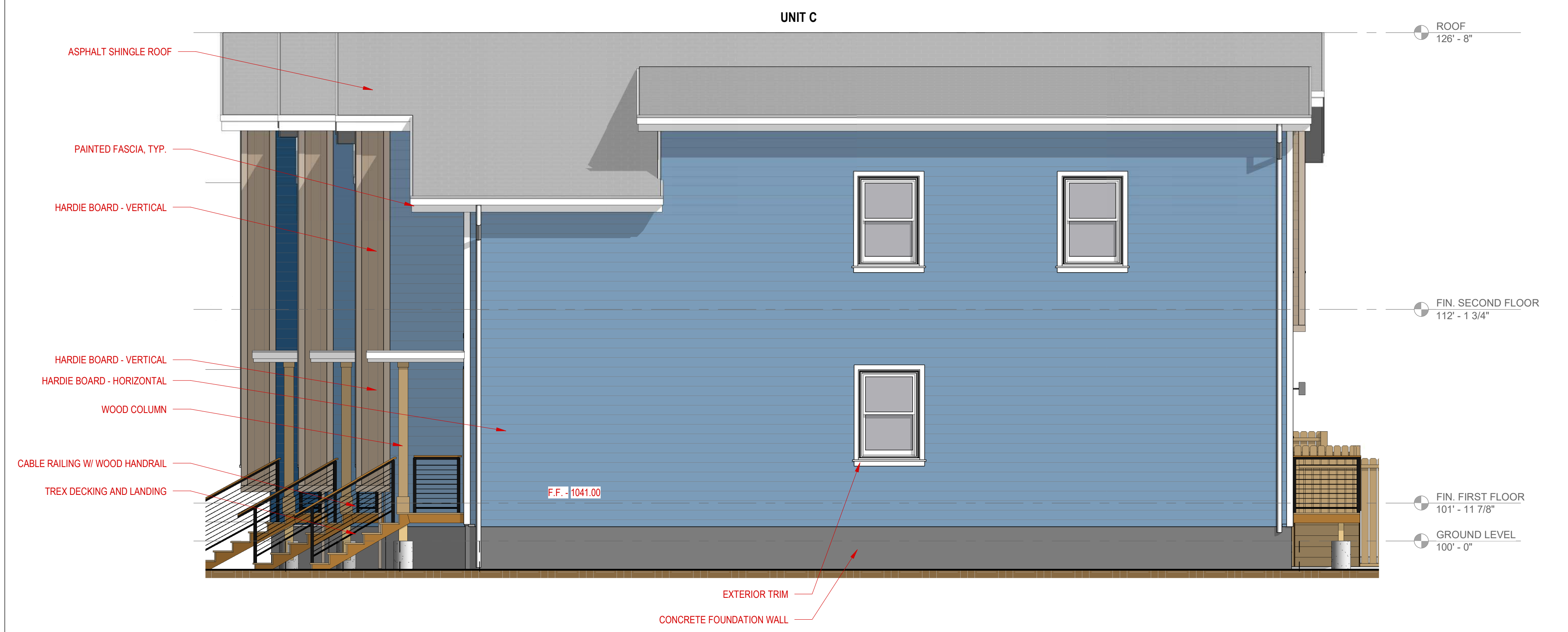
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**EXTERIOR
ELEVATIONS -
COLOR**

A - 2.1

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2 SOUTH ELEVATION

1/4" = 1'-0"



1 WEST ELEVATION

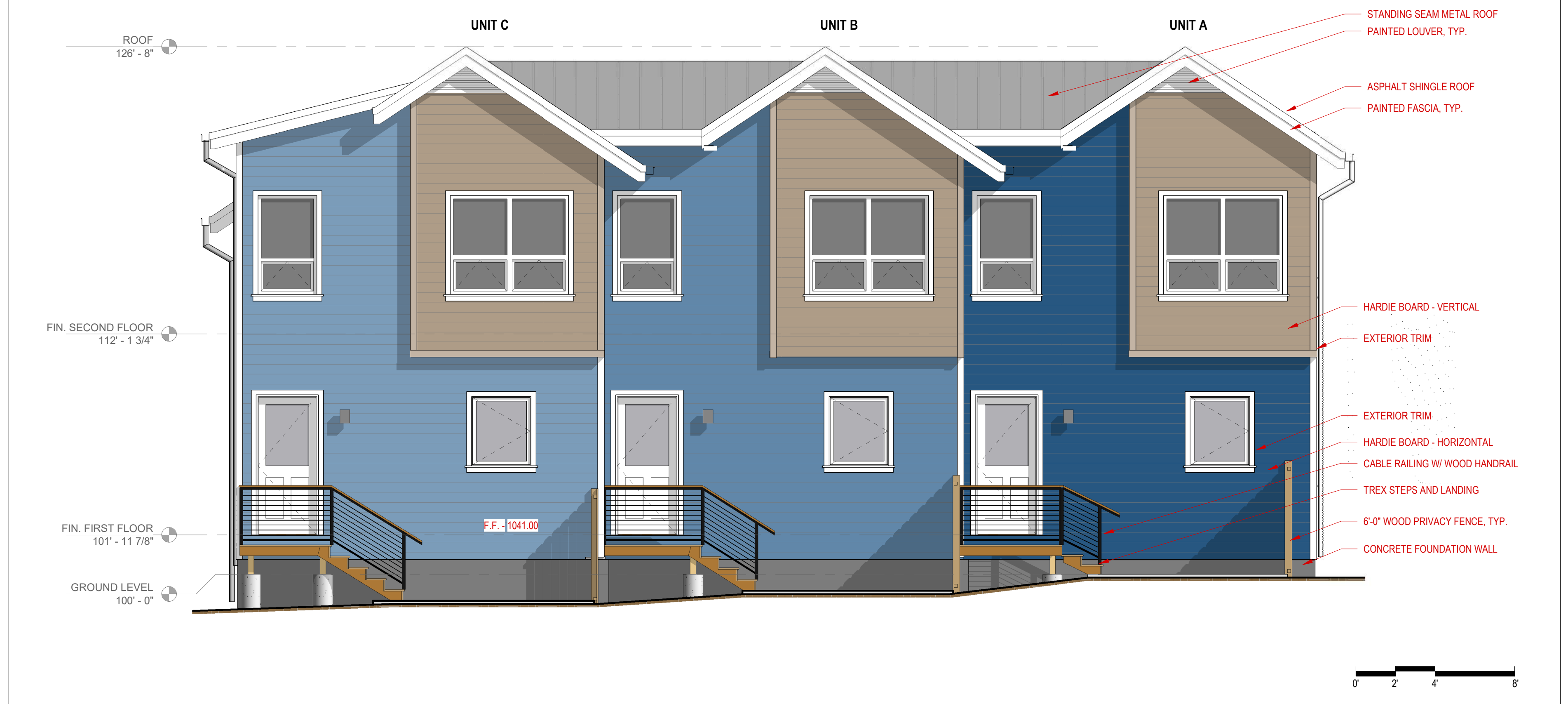
1/4" = 1'-0"



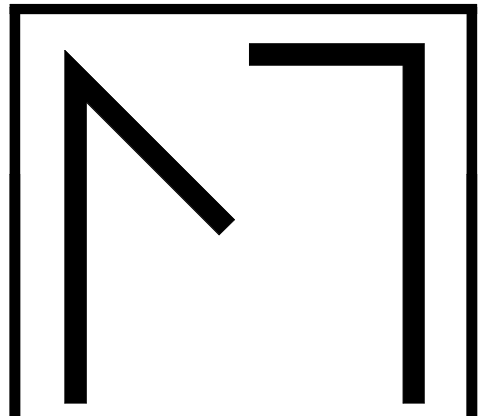
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2 NORTH ELEVATION 1/4" = 1'-0"



1 EAST ELEVATION 1/4" = 1'-0"



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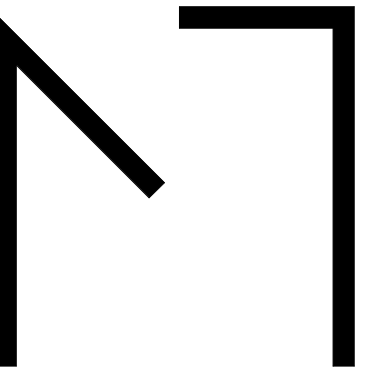
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 DATE: 05/05/2023
 SHEET TITLE

EXTERIOR ELEVATIONS - COLOR

A - 2.2

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THERESA TERRACE

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2	REV 02 SITE PLAN REVIEW	05/05/23

PROJECT NO: 2204

DATE: 05/05/2023

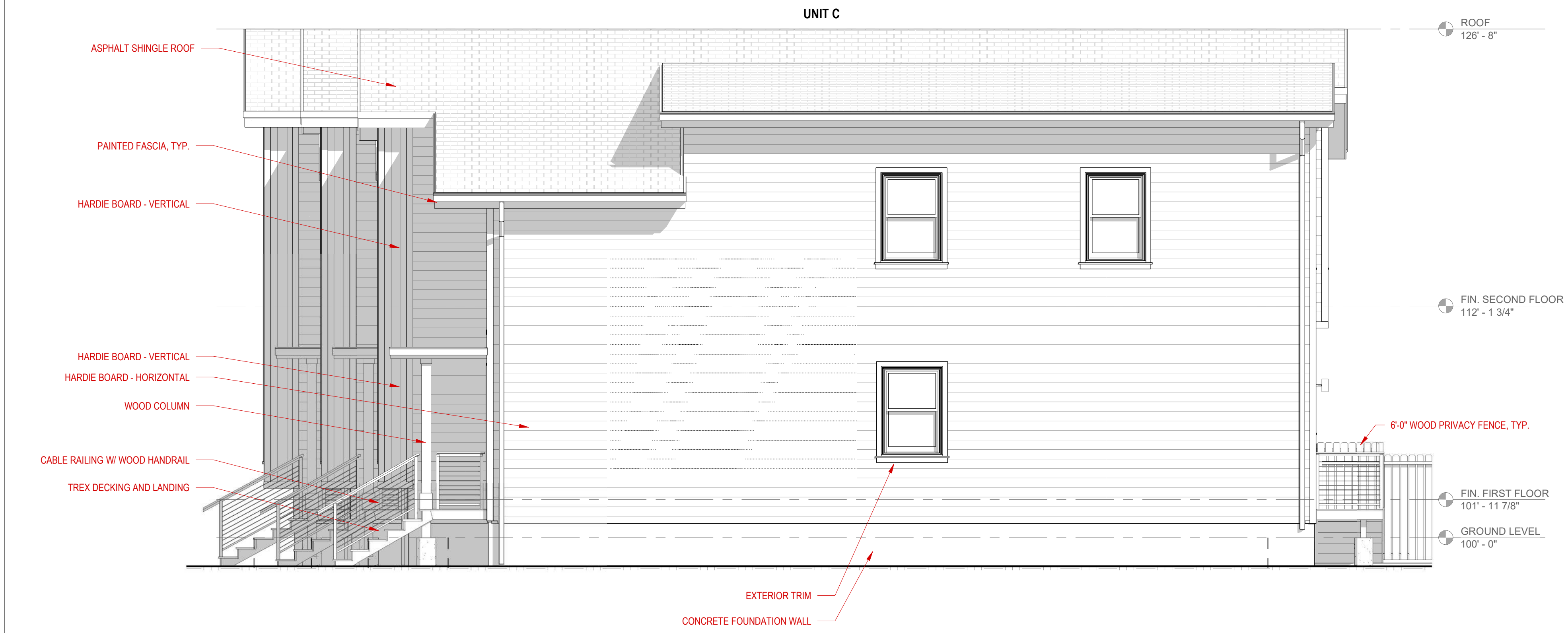
SHEET TITLE

EXTERIOR ELEVATIONS

A - 2.3

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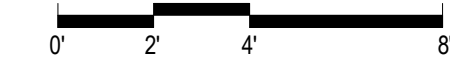
2 SOUTH ELEVATION

1/4" = 1'-0"

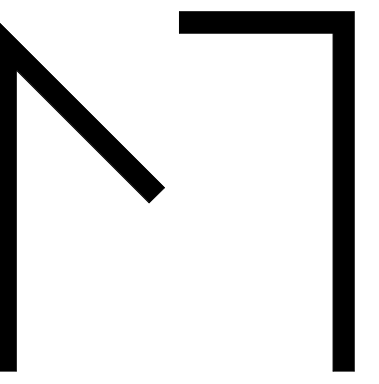


1 WEST ELEVATION

1/4" = 1'-0"



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1	REV SITE PLAN REVIEW	03/10/23
2	REV 02 SITE PLAN REVIEW	05/05/23

PROJECT NO: **2204**

DATE: 05/05/2023

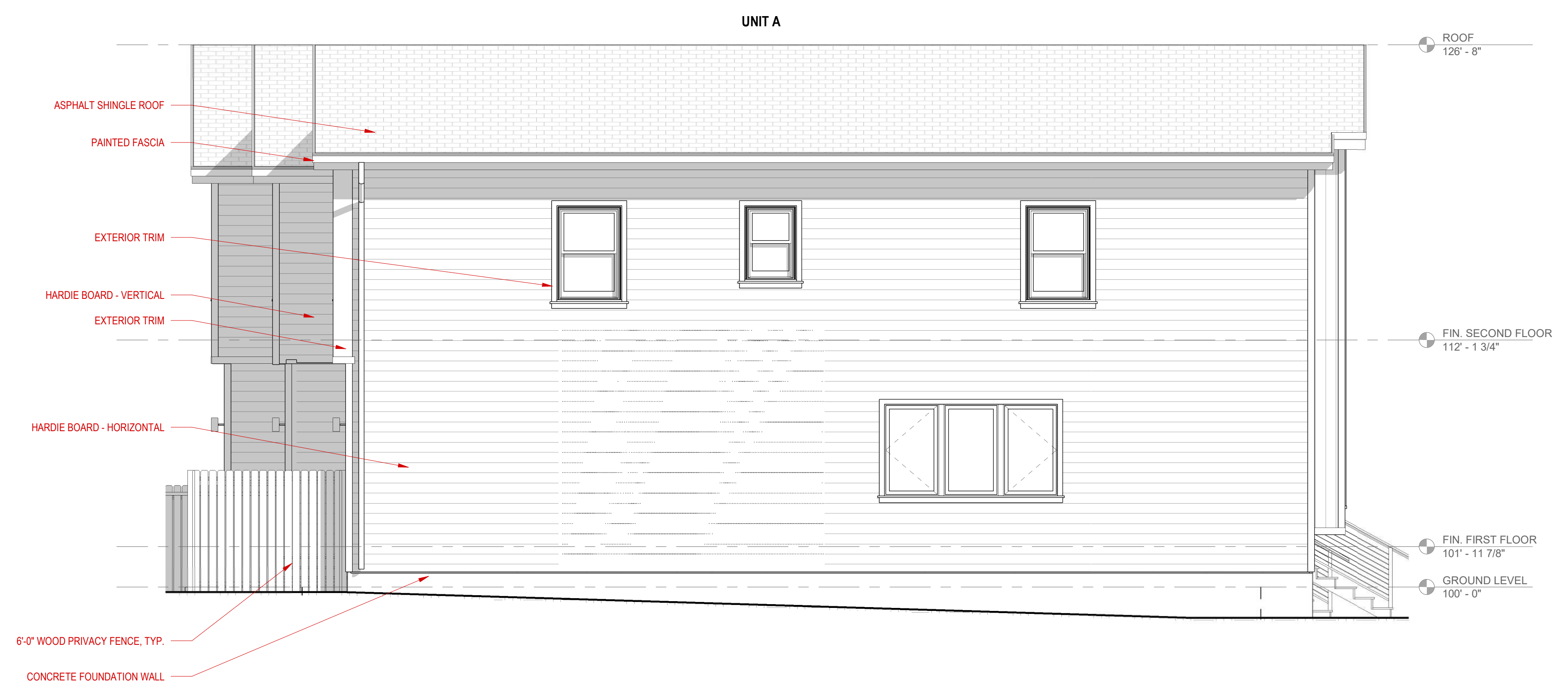
SHEET TITLE

EXTERIOR ELEVATIONS

A - 2.4

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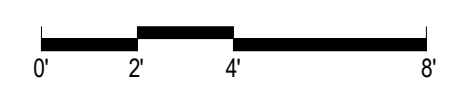
2 NORTH ELEVATION

1/4" = 1'-0"

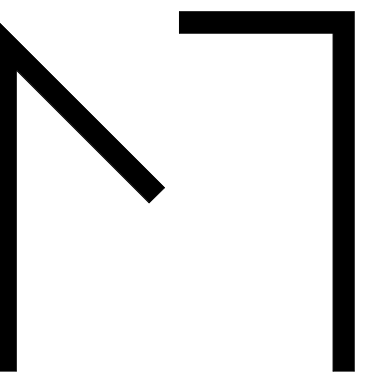


1 EAST ELEVATION

1/4" = 1'-0"



C:\Users\morrison\OneDrive\Projects\2204 - CDA Theresa Terrace\Drawings\1401 - Madison CDA - Theresa Terrace-1401-1403.dwg 5/5/2023 9:05:05 AM



MOTIS
Morrison Tills
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Madison, WI 53715
608.709.1430
info@motisarch.com

CONSULTANTS

THERESA TERRACE
1401-1403 THERESA TERRACE, MADISON, WI
53711

No.	Description	Date
1	REV SITE PLAN REVIEW	03/10/23
2	REV 02 SITE PLAN REVIEW	05/05/23

PROJECT NO: **2204**

DATE: 05/05/2023

SHEET TITLE

**CONCEPT
RENDERINGS**

A - 3.1

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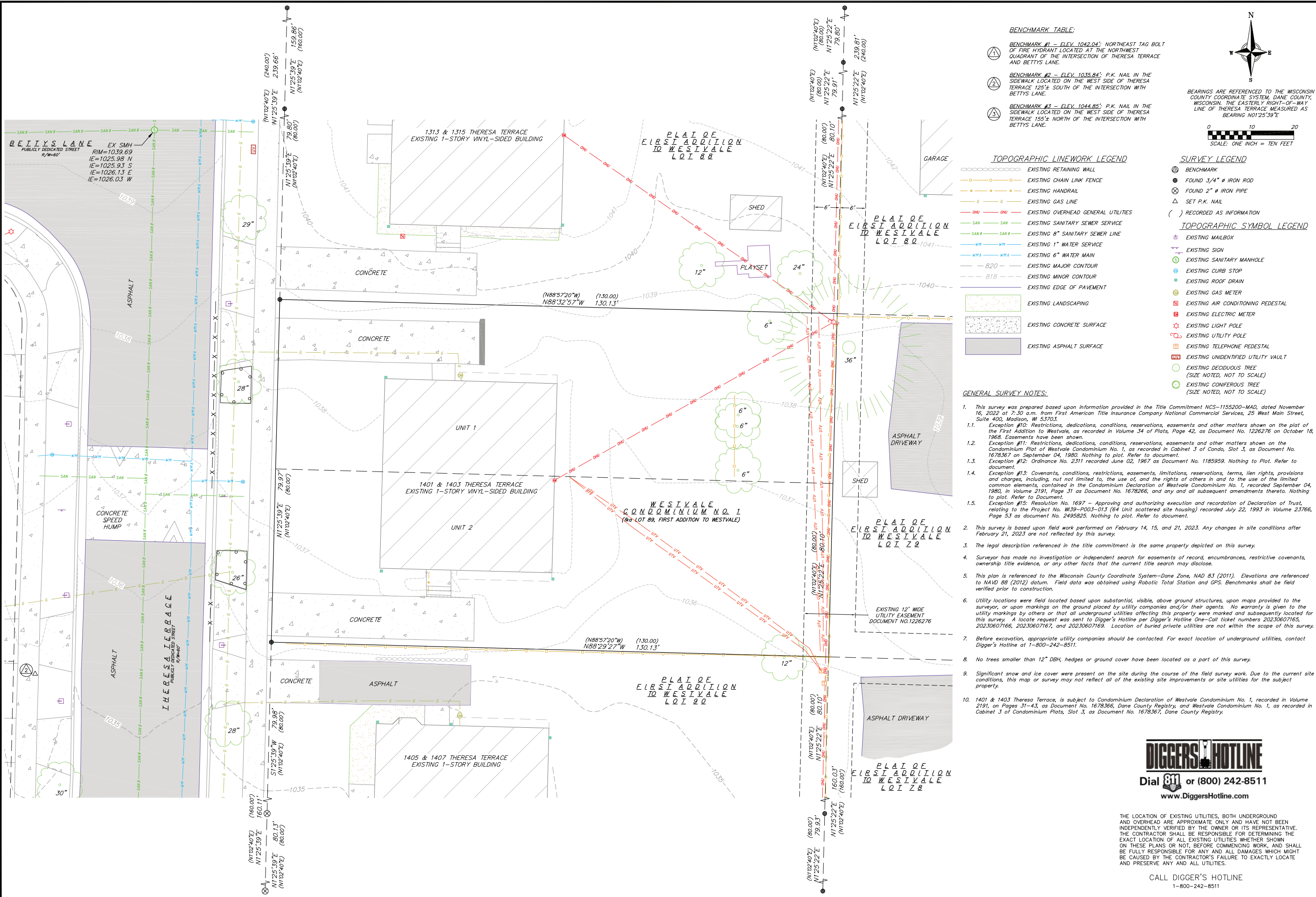
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THERESA TERRACE VIEW - LOOKING SOUTHEAST



THERESA TERRACE VIEW - LOOKING EAST



BENCHMARK TABLE:

- BENCHMARK #1 - ELEV. 1042.04'; NORTHEAST TAG BOLT OF FIRE HYDRANT LOCATED AT THE NORTHWEST QUADRANT OF THE INTERSECTION OF THERESA TERRACE AND BETTYS LANE.
- BENCHMARK #2 - ELEV. 1035.84'; P.K. NAIL IN THE SIDEWALK LOCATED ON THE WEST SIDE OF THERESA TERRACE 125'± SOUTH OF THE INTERSECTION WITH BETTYS LANE.
- BENCHMARK #3 - ELEV. 1044.85'; P.K. NAIL IN THE SIDEWALK LOCATED ON THE WEST SIDE OF THERESA TERRACE 155'± NORTH OF THE INTERSECTION WITH BETTYS LANE.



BEARINGS ARE REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, WISCONSIN. THE EASTERLY RIGHT-OF-WAY LINE OF THERESA TERRACE MEASURED AS BEARING N01°25'39\"E

TOPOGRAPHIC LINEWORK LEGEND

- EXISTING RETAINING WALL
- EXISTING CHAIN LINK FENCE
- EXISTING HANDRAIL
- EXISTING GAS LINE
- EXISTING OVERHEAD GENERAL UTILITIES
- EXISTING SANITARY SEWER SERVICE
- EXISTING 8\" SANITARY SEWER LINE
- EXISTING 1\" WATER SERVICE
- EXISTING 6\" WATER MAIN
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING EDGE OF PAVEMENT
- EXISTING LANDSCAPING
- EXISTING CONCRETE SURFACE
- EXISTING ASPHALT SURFACE

SURVEY LEGEND

- BENCHMARK
- FOUND 3/4\" IRON ROD
- FOUND 2\" IRON PIPE
- SET P.K. NAIL
- RECORDED AS INFORMATION
- EXISTING MAILBOX
- EXISTING SIGN
- EXISTING SANITARY MANHOLE
- EXISTING CURB STOP
- EXISTING ROOF DRAIN
- EXISTING GAS METER
- EXISTING AIR CONDITIONING PEDESTAL
- EXISTING ELECTRIC METER
- EXISTING LIGHT POLE
- EXISTING UTILITY POLE
- EXISTING TELEPHONE PEDESTAL
- EXISTING UNIDENTIFIED UTILITY VAULT
- EXISTING DECIDUOUS TREE (SIZE NOTED, NOT TO SCALE)
- EXISTING CONIFEROUS TREE (SIZE NOTED, NOT TO SCALE)

GENERAL SURVEY NOTES:

- This survey was prepared based upon information provided in the Title Commitment NCS-1155200-MAD, dated November 16, 2022 at 7:30 a.m. from First American Title Insurance Company National Commercial Services, 25 West Main Street, Suite 400, Madison, WI 53703.
 - Exception #10: Restrictions, dedications, conditions, reservations, easements and other matters shown on the plot of the First Addition to Westvale, as recorded in Volume 34 of Plats, Page 42, as Document No. 1226276 on October 18, 1968. Easements have been shown.
 - Exception #11: Restrictions, dedications, conditions, reservations, easements and other matters shown on the Condominium Plot of Westvale Condominium No. 1, as recorded in Cabinet J of Condo, Slot 3, as Document No. 1678367 on September 04, 1980. Nothing to plot. Refer to document.
 - Exception #12: Ordinance No. 2311 recorded June 02, 1967 as Document No. 1185959. Nothing to Plot. Refer to document.
 - Exception #13: Covenants, conditions, restrictions, easements, limitations, reservations, terms, lien rights, provisions and charges, including, but not limited to, the use of, and the rights of others in and to the use of the limited common elements, contained in the Condominium Declaration of Westvale Condominium No. 1, recorded September 04, 1980, in Volume 2191, Page 31 as Document No. 1678266, and any and all subsequent amendments thereto. Nothing to plot. Refer to Document.
 - Exception #15: Resolution No. 1697 - Approving and authorizing execution and recordation of Declaration of Trust, relating to the Project No. W139-P003-013 (04 Unit scattered site housing) recorded July 22, 1993 in Volume 23766, Page 53 as document No. 2495825. Nothing to plot. Refer to document.
- This survey is based upon field work performed on February 14, 15, and 21, 2023. Any changes in site conditions after February 21, 2023 are not reflected by this survey.
- The legal description referenced in the title commitment is the same property depicted on this survey.
- Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that the current title search may disclose.
- This plan is referenced to the Wisconsin County Coordinate System-Dane Zone, NAD 83 (2011). Elevations are referenced to NAVD 88 (2012) datum. Field data was obtained using Robotic Total Station and GPS. Benchmarks shall be field verified prior to construction.
- Utility locations were field located based upon substantial, visible, above ground structures, upon maps provided to the surveyor, or upon markings on the ground placed by utility companies and/or their agents. No warranty is given to the utility markings by others or that all underground utilities affecting this property were marked and subsequently located for this survey. A locate request was sent to Digger's Hotline per Digger's Hotline One-Call ticket numbers 20230607165, 20230607166, 20230607167, and 20230607169. Location of buried private utilities are not within the scope of this survey.
- Before excavation, appropriate utility companies should be contacted. For exact location of underground utilities, contact Digger's Hotline at 1-800-242-8511.
- No trees smaller than 12\" DBH, hedges or ground cover have been located as a part of this survey.
- Significant snow and ice cover were present on the site during the course of the field survey work. Due to the current site conditions, this map or survey may not reflect all of the existing site improvements or site utilities for the subject property.
- 1401 & 1403 Theresa Terrace, is subject to Condominium Declaration of Westvale Condominium No. 1, recorded in Volume 2191, on Pages 31-43, as Document No. 1678366, Dane County Registry, and Westvale Condominium No. 1, as recorded in Cabinet J of Condominium Plats, Slot 3, as Document No. 1678367, Dane County Registry.

DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
 www.DiggersHotline.com

THE LOCATION OF EXISTING UTILITIES, BOTH UNDERGROUND AND OVERHEAD ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES WHETHER SHOWN ON THESE PLANS OR NOT, BEFORE COMMENCING WORK, AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE CAUSED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.

CALL DIGGER'S HOTLINE
 1-800-242-8511

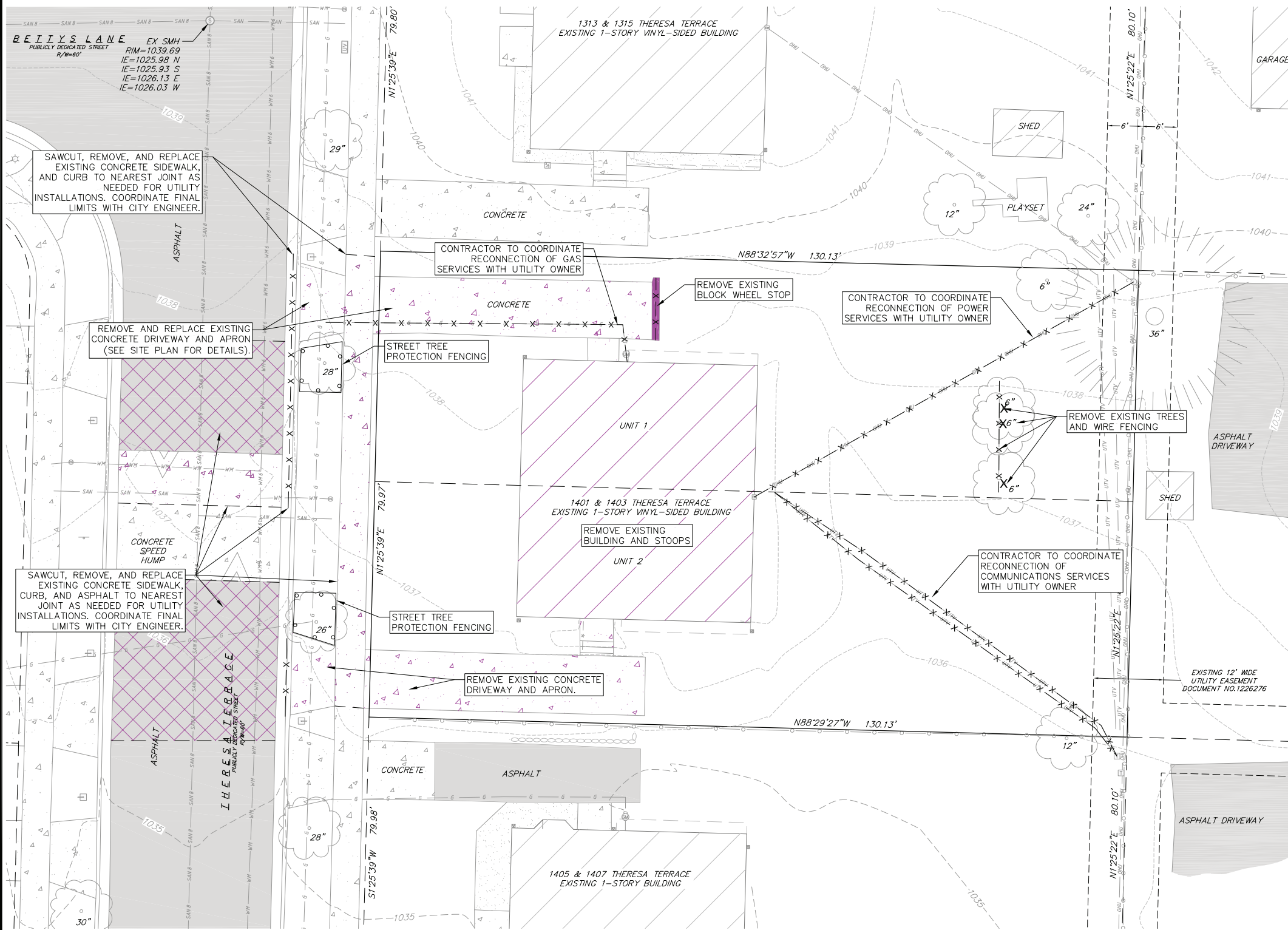
vierbicher
 planners | engineers | advisors

Existing Conditions
 1401-1403 Theresa Terrace
 Madison
 Dane County, WI

NO.	DATE	REVISIONS	REMARKS
1	8/15/2023		BIDDING DOCUMENTS

DATE: 04/28/2023
 DRAFTER: AMEA
 CHECKED: MMAR
 PROJECT NO.: 220354

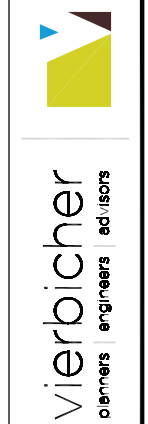
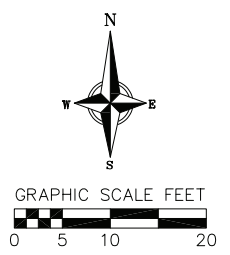
C100



- DEMOLITION PLAN LEGEND**
- CURB AND GUTTER REMOVAL
 - ASPHALT REMOVAL
 - CONCRETE REMOVAL
 - BUILDING REMOVAL
 - TREE REMOVAL
 - SAWCUT
 - UTILITY STRUCTURE REMOVAL
 - UTILITY LINE REMOVAL

- TOPOGRAPHIC LINEWORK LEGEND**
- EXISTING RETAINING WALL
 - EXISTING CHAIN LINK FENCE
 - EXISTING HANDRAIL
 - EXISTING GAS LINE
 - EXISTING OVERHEAD GENERAL UTILITIES
 - EXISTING SANITARY SEWER SERVICE
 - EXISTING 8" SANITARY SEWER LINE
 - EXISTING 1" WATER SERVICE
 - EXISTING 6" WATER MAIN
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - EXISTING EDGE OF PAVEMENT
 - EXISTING LANDSCAPING
 - EXISTING CONCRETE SURFACE
 - EXISTING ASPHALT SURFACE

- SURVEY LEGEND**
- BENCHMARK
 - FOUND 3/4" # IRON ROD
 - FOUND 2" # IRON PIPE
 - SET P.K. NAIL
 - RECORDED AS INFORMATION
- TOPOGRAPHIC SYMBOL LEGEND**
- EXISTING MAILBOX
 - EXISTING SIGN
 - EXISTING SANITARY MANHOLE
 - EXISTING CURB STOP
 - EXISTING ROOF DRAIN
 - EXISTING GAS METER
 - EXISTING AIR CONDITIONING PEDESTAL
 - EXISTING ELECTRIC METER
 - EXISTING LIGHT POLE
 - EXISTING UTILITY POLE
 - EXISTING TELEPHONE PEDESTAL
 - EXISTING UNIDENTIFIED UTILITY VAULT
 - EXISTING DECIDUOUS TREE (SIZE NOTED, NOT TO SCALE)
 - EXISTING CONIFEROUS TREE (SIZE NOTED, NOT TO SCALE)



Demolition Plan
 1401-1403 Theresa Terrace
 Madison
 Dane County, WI

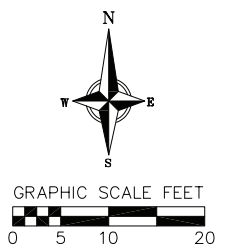
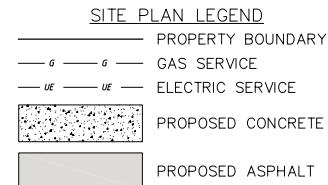
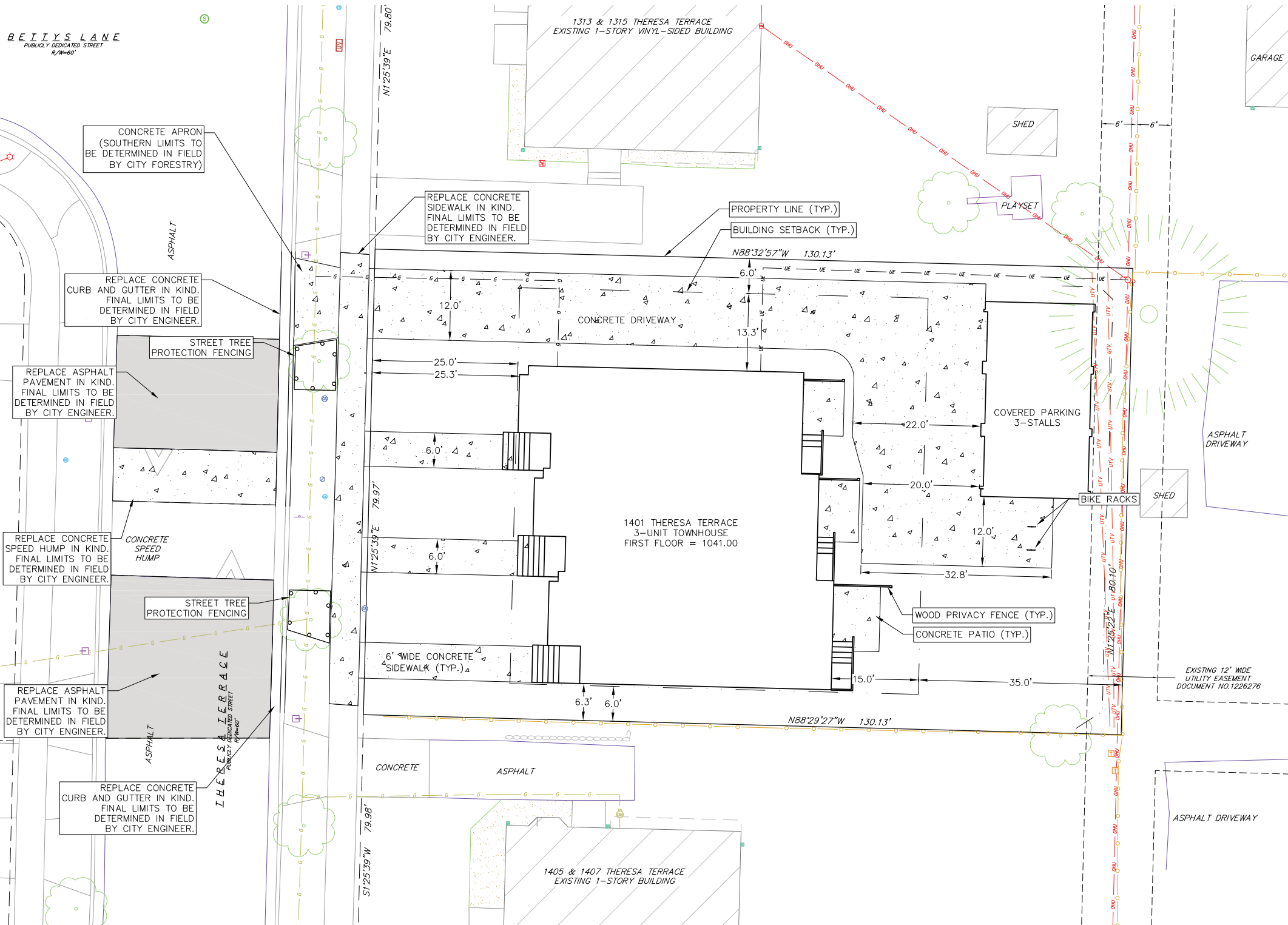
REVISIONS		NO.	DATE	REMARKS

DIGGERS HOTLINE
 Dial 811 or (800) 242-8511
 www.DiggersHotline.com

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CALL DIGGER'S HOTLINE
 1-800-242-8511

C200



- SITE PLAN NOTES:**
1. CONCRETE DRIVEWAY TO BE 6" THICK, CONSTRUCTED ON A BASE OF 6" COMPACTED SAND OR CRUSHED STONE. CONCRETE SIDEWALK TO BE 5" THICK, CONSTRUCTED ON A BASE OF 4" COMPACTED SAND OR CRUSHED STONE.
 2. CONCRETE FOR DRIVEWAY APRONS AND SIDEWALK AT DRIVEWAY ENTRANCES SHALL BE 7" THICK, CONSTRUCTED ON A BASE OF 6" COMPACTED SAND OR CRUSHED STONE.
 3. ALL DIMENSIONS WITH CURB & GUTTER ARE REFERENCED TO THE FACE OF CURB.
 4. CONTRACTOR SHALL DEEP TILL ANY DISTURBED AREAS AFTER CONSTRUCTION IS COMPLETE AND BEFORE RESTORING.
 5. CONTRACTOR TO OBTAIN ANY NECESSARY DRIVEWAY CONNECTION, RIGHT OF WAY AND EXCAVATION PERMITS PRIOR TO CONSTRUCTION.
 6. ALL ABANDONED DRIVEWAYS ADJACENT TO THE SITE SHALL BE REPLACED WITH CURB AND THE TERRACE SHALL BE RESTORED WITH GRASS.
 7. ANY SIDEWALK AND CURB & GUTTER ABUTTING THE PROPERTY SHALL BE REPLACED IF IT IS DAMAGED DURING CONSTRUCTION OR IF THE CITY ENGINEERING DEPARTMENT DETERMINES THAT IT IS NOT AT A DESIRABLE GRADE, REGARDLESS OF WHETHER THE CONDITION EXISTED PRIOR TO BEGINNING CONSTRUCTION.
 8. CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
 9. AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/BUSINESS/PW/SPECS.CFM)
 10. SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/BUSINESS/PW/SPECS.CFM)) ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
 11. ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
 12. STREET TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. CONTACT CITY FORESTRY AT (608) 266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.



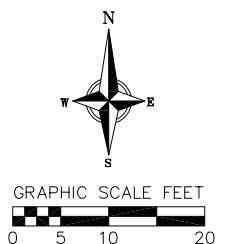
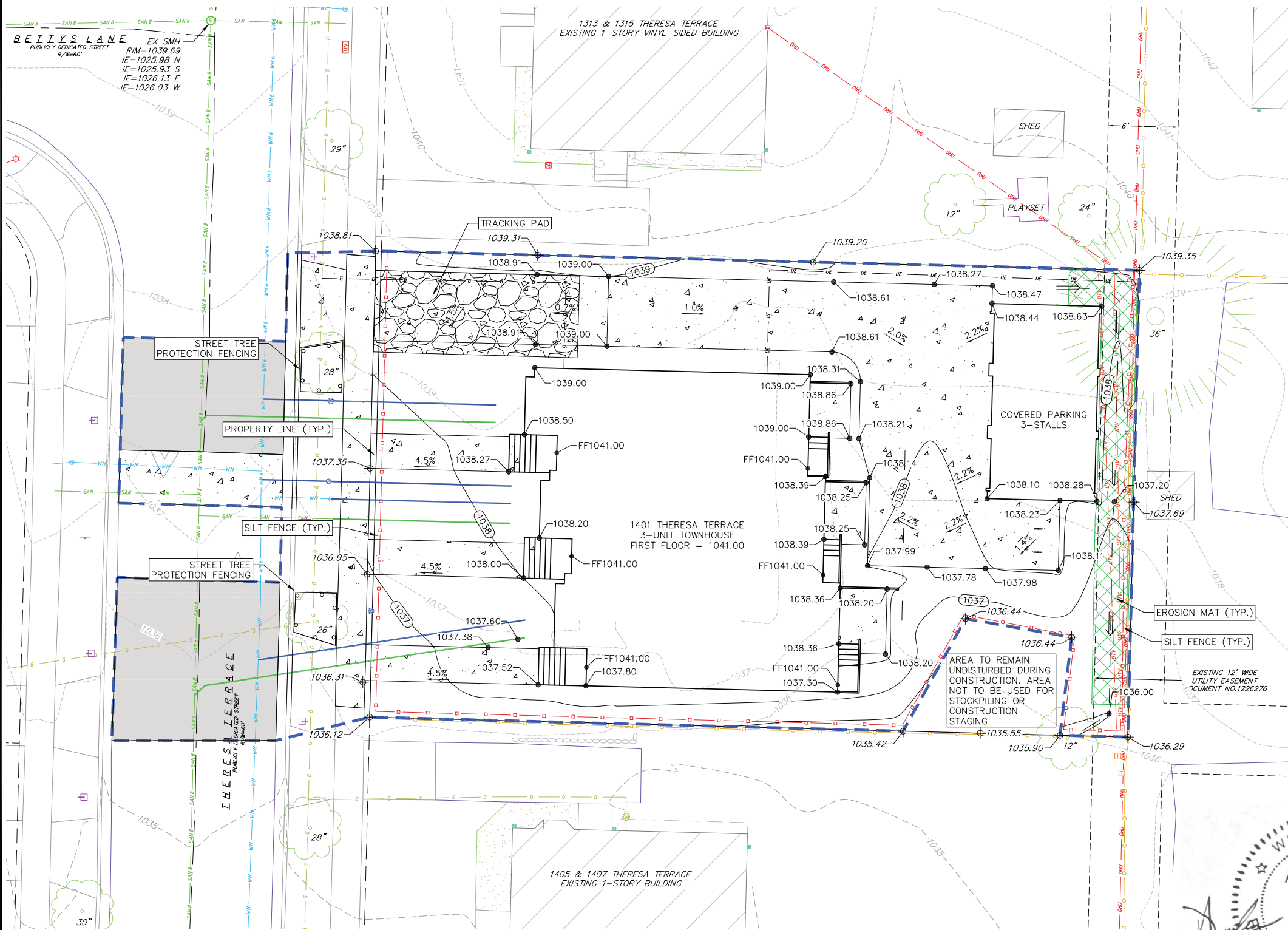
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planners | engineers | advisors

Site Plan
1401-1403 Theresa Terrace
Madison
Dane County, WI

NO.	DATE	REVISIONS	REVISIONS	
			NO.	DATE
1	8/15/2023	BIDDING DOCUMENTS		

DATE: 04/28/2023
DRAFTER: AMEA
CHECKED: RKOL
PROJECT NO.: 220354

C300



- GRADING LEGEND**
- - - 820 - - - EXISTING MAJOR CONTOURS
 - - - 818 - - - EXISTING MINOR CONTOURS
 - (820) - - - PROPOSED MAJOR CONTOURS
 - (818) - - - PROPOSED MINOR CONTOURS
 - - - - - DITCH CENTERLINE
 - - - - - SILT FENCE
 - - - - - DISTURBED LIMITS
 - ⇒ - - - DRAINAGE DIRECTION
 - 2.92% - - - PROPOSED SLOPE ARROWS
 - ⊕ 1048.61 - - - EXISTING SPOT ELEVATIONS
 - ⊕ 1048.61 - - - PROPOSED SPOT ELEVATIONS
 - ⌒ - - - STONE WEEPER
 - [Green Hatched Box] - - - EROSION MAT CLASS II, TYPE B
 - [Black Hatched Box] - - - TRACKING PAD

- GRADING NOTES:**
- CONTOURS ARE SHOWN FOR PURPOSES OF INDICATING ROUGH GRADING. FINAL GRADE SHALL BE ESTABLISHED ON PAVED SURFACES BY USING SPOT GRADES ONLY.
 - ALL GRADES SHOWN REFERENCE FINISHED ELEVATIONS.
 - CROSS SLOPE OF SIDEWALKS SHALL BE 1.5% UNLESS OTHERWISE NOTED.
 - LONGITUDINAL GRADE OF SIDEWALK RAMP SHALL NOT EXCEED 8.33% (1:12) AND SHALL BE IN ACCORDANCE WITH ADA REQUIREMENTS.
 - LONGITUDINAL GRADE OF SIDEWALK SHALL NOT EXCEED 5.0% OR THE ADJACENT STREET GRADE WHICHEVER IS GREATER.
 - ACCESSIBLE ROUTES SHALL BE 5.0% MAX LONGITUDINAL SLOPE AND 1.5% MAX CROSS SLOPE. ACCESSIBLE LOADING AREAS OR LANDINGS SHALL BE 2.0% MAX SLOPE IN ANY DIRECTION. RAMP SHALL BE 8.33% MAX SLOPE.
 - NO LAND DISTURBANCE ACTIVITIES SHALL BEGIN UNTIL ALL EROSION CONTROL BMP'S ARE INSTALLED.
 - SEE DETAIL SHEETS FOR EROSION CONTROL NOTES AND CONSTRUCTION SEQUENCE.
 - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.

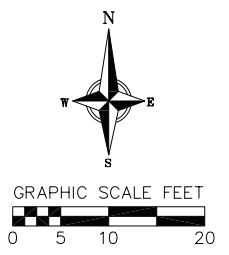
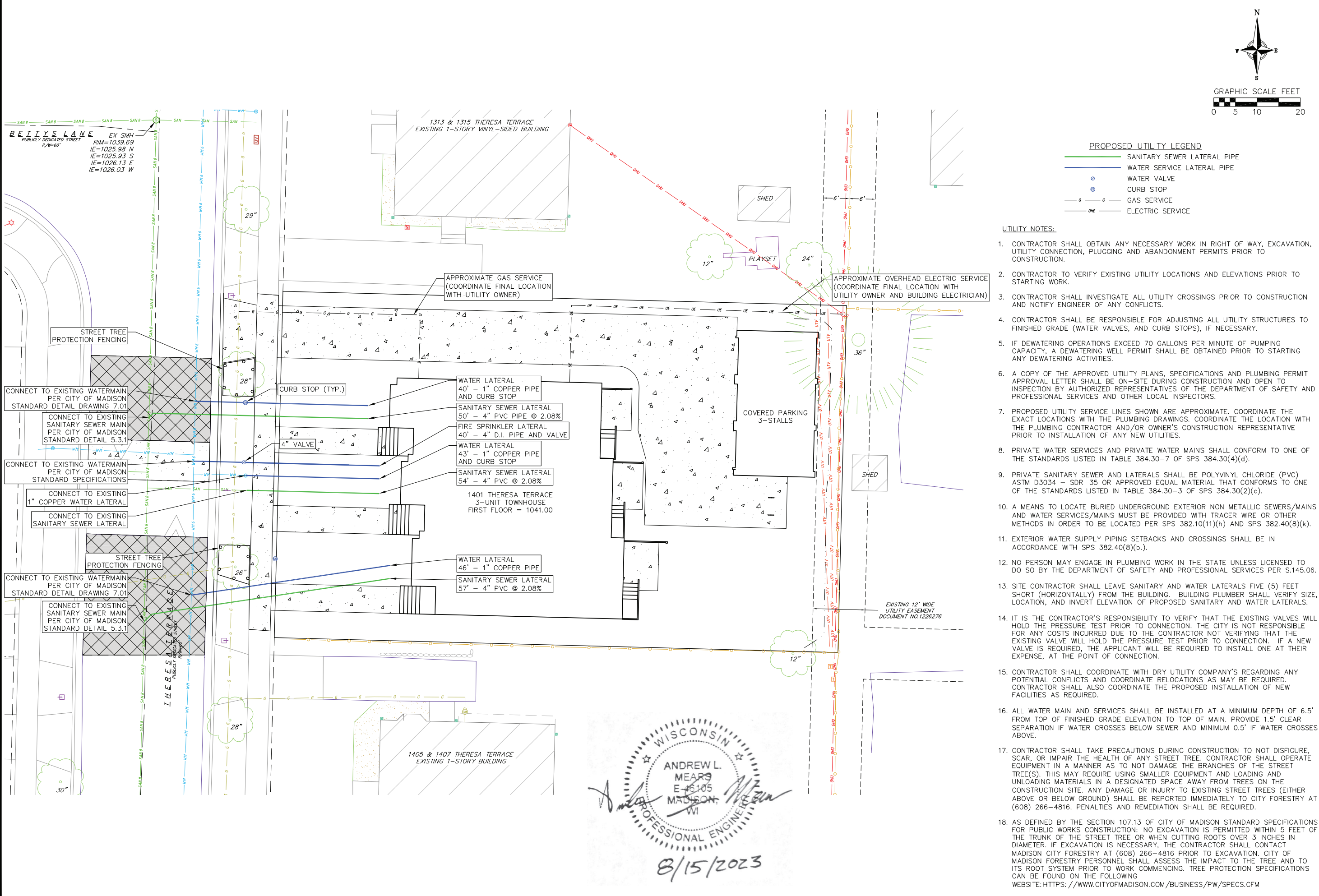


Grading and Erosion Control Plan
 1401-1403 Theresa Terrace
 Madison
 Dane County, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	8/1/2023	1	8/15/2023
CITY RESUBMITTAL		BIDDING DOCUMENTS	

DATE: 04/28/2023
 DRAFTER: AMEA
 CHECKED: RKOL
 PROJECT NO.: 220354

C400



PROPOSED UTILITY LEGEND

- SANITARY SEWER LATERAL PIPE
- WATER SERVICE LATERAL PIPE
- ⊙ WATER VALVE
- ⊕ CURB STOP
- GAS SERVICE
- ELECTRIC SERVICE

- UTILITY NOTES:**
- CONTRACTOR SHALL OBTAIN ANY NECESSARY WORK IN RIGHT OF WAY, EXCAVATION, UTILITY CONNECTION, PLUGGING AND ABANDONMENT PERMITS PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO STARTING WORK.
 - CONTRACTOR SHALL INVESTIGATE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY STRUCTURES TO FINISHED GRADE (WATER VALVES, AND CURB STOPS), IF NECESSARY.
 - IF DEWATERING OPERATIONS EXCEED 70 GALLONS PER MINUTE OF PUMPING CAPACITY, A DEWATERING WELL PERMIT SHALL BE OBTAINED PRIOR TO STARTING ANY DEWATERING ACTIVITIES.
 - A COPY OF THE APPROVED UTILITY PLANS, SPECIFICATIONS AND PLUMBING PERMIT APPROVAL LETTER SHALL BE ON-SITE DURING CONSTRUCTION AND OPEN TO INSPECTION BY AUTHORIZED REPRESENTATIVES OF THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES AND OTHER LOCAL INSPECTORS.
 - PROPOSED UTILITY SERVICE LINES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATIONS WITH THE PLUMBING DRAWINGS. COORDINATE THE LOCATION WITH THE PLUMBING CONTRACTOR AND/OR OWNER'S CONSTRUCTION REPRESENTATIVE PRIOR TO INSTALLATION OF ANY NEW UTILITIES.
 - PRIVATE WATER SERVICES AND PRIVATE WATER MAINS SHALL CONFORM TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-7 OF SPS 384.30(4)(d).
 - PRIVATE SANITARY SEWER AND LATERALS SHALL BE POLYVINYL CHLORIDE (PVC) ASTM D3034 - SDR 35 OR APPROVED EQUAL MATERIAL THAT CONFORMS TO ONE OF THE STANDARDS LISTED IN TABLE 384.30-3 OF SPS 384.30(2)(c).
 - A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NON METALLIC SEWERS/MAINS AND WATER SERVICES/MAINS MUST BE PROVIDED WITH TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED PER SPS 382.10(11)(h) AND SPS 382.40(8)(k).
 - EXTERIOR WATER SUPPLY PIPING SETBACKS AND CROSSINGS SHALL BE IN ACCORDANCE WITH SPS 382.40(8)(b).
 - NO PERSON MAY ENGAGE IN PLUMBING WORK IN THE STATE UNLESS LICENSED TO DO SO BY THE DEPARTMENT OF SAFETY AND PROFESSIONAL SERVICES PER S.145.06.
 - SITE CONTRACTOR SHALL LEAVE SANITARY AND WATER LATERALS FIVE (5) FEET SHORT (HORIZONTALLY) FROM THE BUILDING. BUILDING PLUMBER SHALL VERIFY SIZE, LOCATION, AND INVERT ELEVATION OF PROPOSED SANITARY AND WATER LATERALS.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE EXISTING VALVES WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. THE CITY IS NOT RESPONSIBLE FOR ANY COSTS INCURRED DUE TO THE CONTRACTOR NOT VERIFYING THAT THE EXISTING VALVE WILL HOLD THE PRESSURE TEST PRIOR TO CONNECTION. IF A NEW VALVE IS REQUIRED, THE APPLICANT WILL BE REQUIRED TO INSTALL ONE AT THEIR EXPENSE, AT THE POINT OF CONNECTION.
 - CONTRACTOR SHALL COORDINATE WITH DRY UTILITY COMPANY'S REGARDING ANY POTENTIAL CONFLICTS AND COORDINATE RELOCATIONS AS MAY BE REQUIRED. CONTRACTOR SHALL ALSO COORDINATE THE PROPOSED INSTALLATION OF NEW FACILITIES AS REQUIRED.
 - ALL WATER MAIN AND SERVICES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 6.5' FROM TOP OF FINISHED GRADE ELEVATION TO TOP OF MAIN. PROVIDE 1.5' CLEAR SEPARATION IF WATER CROSSES BELOW SEWER AND MINIMUM 0.5' IF WATER CROSSES ABOVE.
 - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM TREES ON THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
 - AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)

ANDREW L. MEARS
 E-46105
 MADISON, WI
 PROFESSIONAL ENGINEER

8/15/2023

vierbicher

planners | engineers | advisors

Utility Plan

1401-1403 Theresa Terrace
Madison
Dane County, WI

REVISIONS		NO.	DATE	REMARKS
1	8/15/2023			BIDDING DOCUMENTS

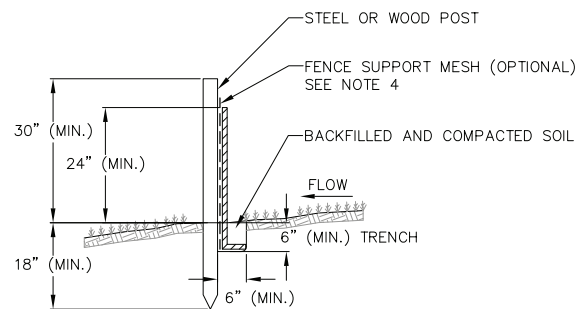
DATE	04/28/2023
DRAFTER	AMEA
CHECKED	RKOL
PROJECT NO.	220354

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EROSION CONTROL MEASURES

1. EROSION CONTROL SHALL BE IN ACCORDANCE WITH THE CITY OF MADISON EROSION CONTROL ORDINANCE AND CHAPTER NR 216 OF THE WISCONSIN ADMINISTRATIVE CODE.
2. CONSTRUCT AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH WISCONSIN DNR TECHNICAL STANDARDS ([HTTPS://DNR.WISCONSIN.GOV/TOPIC/STORMWATER/STANDARDS/CONST_STANDARDS.HTML](https://dnr.wisconsin.gov/topic/stormwater/standards/const_standards.html)) AND WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK.
3. INSTALL SEDIMENT CONTROL PRACTICES (TRACKING PAD, PERIMETER SILT FENCE) PRIOR TO INITIATING OTHER LAND DISTURBING CONSTRUCTION ACTIVITIES.
4. THE CONTRACTOR IS REQUIRED TO MAKE EROSION CONTROL INSPECTIONS AT THE END OF EACH WEEK AND WHEN 0.5 INCHES OF RAIN FALLS WITHIN 24 HOURS. INSPECTION REPORTS SHALL BE PREPARED AND FILED AS REQUIRED BY THE DNR AND/OR CITY. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS.
5. EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.
6. A 3" CLEAR STONE TRACKING PAD SHALL BE INSTALLED AT THE END OF ROAD CONSTRUCTION LIMITS TO PREVENT SEDIMENT FROM BEING TRACKED ONTO THE ADJACENT PAVED PUBLIC ROADWAY. SEDIMENT TRACKING PAD SHALL CONFORM TO WISDNR TECHNICAL STANDARD 1057. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORK DAY.
7. CHANNELIZED RUNOFF: FROM ADJACENT AREAS PASSING THROUGH THE SITE SHALL BE DIVERTED AROUND DISTURBED AREAS.
8. STABILIZED DISTURBED GROUND: ANY SOIL OR DIRT PILES WHICH WILL REMAIN IN EXISTENCE FOR MORE THAN 7-CONSECUTIVE DAYS, WHETHER TO BE WORKED DURING THAT PERIOD OR NOT, SHALL NOT BE LOCATED WITHIN 25- FEET OF ANY ROADWAY, PARKING LOT, PAVED AREA, OR DRAINAGE STRUCTURE OR CHANNEL (UNLESS INTENDED TO BE USED AS PART OF THE EROSION CONTROL MEASURES). TEMPORARY STABILIZATION AND CONTROL MEASURES (SEEDING, MULCHING, TARPING, EROSION MATTING, BARRIER FENCING, ETC.) ARE REQUIRED FOR THE PROTECTION OF DISTURBED AREAS AND SOIL PILES, WHICH WILL REMAIN UN-WORKED FOR A PERIOD OF MORE THAN 7-CONSECUTIVE CALENDAR DAYS. THESE MEASURES SHALL REMAIN IN PLACE UNTIL SITE HAS STABILIZED.
9. SITE DE-WATERING: WATER PUMPED FROM THE SITE SHALL BE TREATED BY TEMPORARY SEDIMENTATION BASINS OR OTHER APPROPRIATE CONTROL MEASURES. SEDIMENTATION BASINS SHALL HAVE A DEPTH OF AT LEAST 3 FEET, BE SURROUNDED BY SNOWFENCE OR EQUIVALENT BARRIER AND HAVE SUFFICIENT SURFACE AREA TO PROVIDE A SURFACE SETTLING RATE OF NO MORE THAN 750 GALLONS PER SQUARE FOOT PER DAY AT THE HIGHEST DEWATERING PUMPING RATE. WATER MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE, A NEIGHBORING SITE, OR THE BED OR BANKS OF THE RECEIVING WATER. POLYMERS MAY BE USED AS DIRECTED BY DNR TECHNICAL STANDARD 1061 (DE-WATERING).
10. RESTORATION (SEED, FERTILIZE AND MULCH) SHALL BE PER SPECIFICATIONS ON THIS SHEET UNLESS SPECIAL RESTORATION IS CALLED FOR ON THE LANDSCAPE PLAN.
11. TERRACES SHALL BE RESTORED WITH 6" TOPSOIL, PERMANENT SEED, FERTILIZER AND MULCH. LOTS SHALL BE RESTORED WITH 6" TOPSOIL, TEMPORARY SEED, FERTILIZER AND MULCH.
12. SEED, FERTILIZER AND MULCH SHALL BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE HAS BEEN ESTABLISHED. IF DISTURBED AREAS WILL NOT BE RESTORED IMMEDIATELY AFTER ROUGH GRADING, TEMPORARY SEED SHALL BE PLACED.
13. FOR THE FIRST SIX WEEKS AFTER RESTORATION (E.G. SEED & MULCH, EROSION MAT, SOD) OF A DISTURBED AREA, INCLUDE SUMMER WATERING PROVISIONS OF ALL NEWLY SEEDED AND MULCHED AREAS WHENEVER 7 DAYS ELAPSE WITHOUT A RAIN EVENT.
14. EROSION MAT (CLASS I, TYPE B URBAN PER WISCONSIN D.O.T. P.A.L.) SHALL BE INSTALLED ON THE BOTTOM (INVERT) OF ROADSIDE DITCHES/SWALES AS SHOWN ON THIS PLAN, 1 ROLL WIDTH.
15. SOIL STABILIZERS SHALL BE APPLIED TO DISTURBED AREAS WITH SLOPES BETWEEN 10% AND 3:1 (DO NOT USE IN CHANNELS). SOIL STABILIZERS SHALL BE TYPE B, PER WISCONSIN D.O.T. P.A.L. (PRODUCT ACCEPTABILITY LIST), OR EQUAL. APPLY AT RATES AND METHODS SPECIFIED PER MANUFACTURER. SOIL STABILIZERS SHALL BE RE-APPLIED WHENEVER VEHICLES OR OTHER EQUIPMENT TRACK ON THE AREA.
16. SILT FENCE OR EROSION MAT SHALL BE INSTALLED ALONG THE CONTOURS AT 100 FOOT INTERVALS DOWN THE SLOPE ON THE DISTURBED SLOPES STEEPER THAN 5% AND MORE THAN 100 FEET LONG THAT SHEET FLOW TO THE ROADWAY UNLESS SOIL STABILIZERS ARE USED.
17. INSTALL MINIMUM 6'-7" WIDE EROSION MAT ALONG THE BACK OF CURB AFTER TOPSOIL HAS BEEN PLACED IN THE TERRACE IF THIS AREA WILL NOT BE SEEDED AND MULCHED WITHIN 48 HOURS OF PLACING TOPSOIL.
18. SILT FENCE TO BE USED ACROSS AREAS OF THE LOT THAT SLOPE TOWARDS A PUBLIC STREET OR WATERWAY. SEE DETAILS.
19. SEDIMENT SHALL BE CLEANED FROM CURB AND GUTTER AFTER EACH RAINFALL AND PRIOR TO PROJECT ACCEPTANCE.
20. ANY PROPOSED CHANGES TO THE EROSION CONTROL PLAN MUST BE SUBMITTED AND APPROVED BY DANE COUNTY LAND CONSERVATION OR PERMITTING MUNICIPALITY.
21. THE CITY, OWNER AND/OR ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES AT ANY TIME DURING CONSTRUCTION.



NOTES:

1. INSTALL SILT FENCE TO FOLLOW THE GROUND CONTOURS AS CLOSELY AS POSSIBLE.
2. CURVE THE SILT FENCE UP THE SLOPE TO PREVENT WATER FROM RUNNING AROUND THE ENDS.
3. POST SPACING WITH FENCE SUPPORT MESH = 10 FT. (MAX.)
POST SPACING WITHOUT FENCE SUPPORT MESH = 6 FT. (MAX.)
4. SILT FENCE SUPPORT MESH CONSISTS OF 14-GAUGE STEEL WIRE WITH A MESH SPACING OF 6 IN. X 6 IN. OR PREFABRICATED POLYMERIC MESH OF EQUIVALENT STRENGTH

1
C600 SILT FENCE
NOT TO SCALE

CONSTRUCTION SEQUENCE:

1. INSTALL SILT FENCE AND TRACKING PAD.
2. STRIP TOPSOIL.
3. ROUGH GRADE.
4. CONSTRUCT UNDERGROUND UTILITIES.
5. RESTORE TERRACES AND INSTALL PAVEMENT PATCHES.
6. CONSTRUCT BUILDING.
7. CONSTRUCT DRIVEWAY AND SIDEWALKS (STONE BASE, CONCRETE DRIVEWAY, AND SIDEWALK).
8. RESTORE GREEN SPACES AND INSTALL LANDSCAPE FEATURES.
9. REMOVE SILT FENCE AFTER DISTURBED AREAS ARE RESTORED.

SEEDING RATES:

- TEMPORARY:**
1. USE ANNUAL OATS AT 3.0 LB./1,000 S.F. FOR SPRING AND SUMMER PLANTINGS.
 2. USE WINTER WHEAT OR RYE AT 3.0 LB./1,000 SF FOR FALL PLANTINGS STARTED AFTER SEPTEMBER 15.

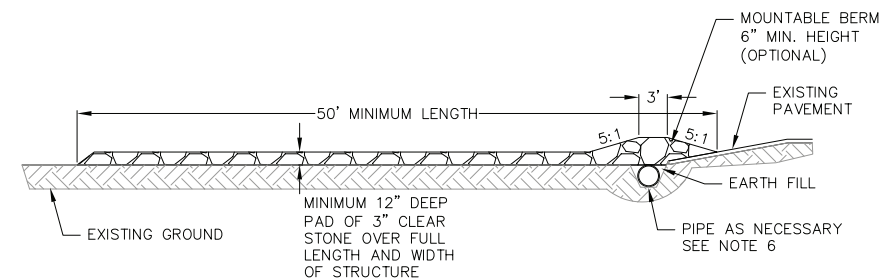
- PERMANENT:**
1. USE WISCONSIN D.O.T. SEED MIX #40 AT 2 LB./1,000 S.F.

FERTILIZING RATES:

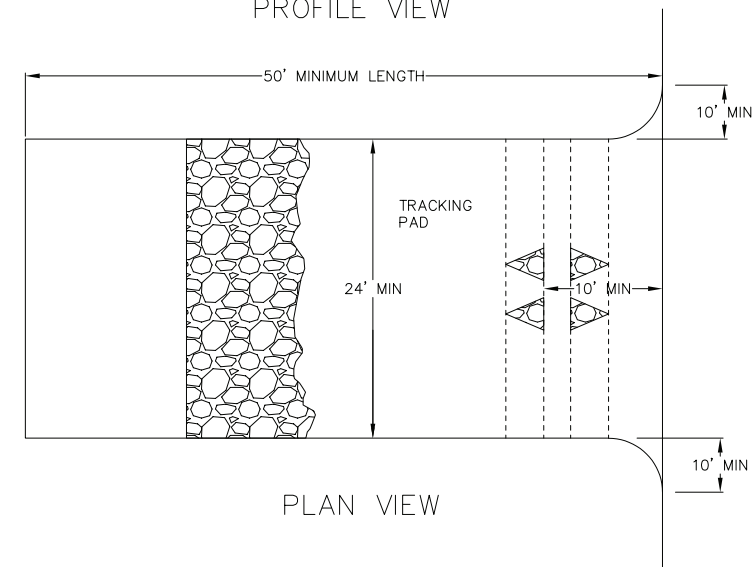
- TEMPORARY AND PERMANENT:**
USE WISCONSIN D.O.T. TYPE A OR B AT 7 LB./1,000 S.F.

MULCHING RATES:

- TEMPORARY AND PERMANENT:**
USE 1/2" TO 1-1/2" STRAW OR HAY MULCH, CRIMPED PER SECTION 607.3.2.3, OR OTHER RATE AND METHOD PER SECTION 627, WISCONSIN D.O.T. STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION



PROFILE VIEW



PLAN VIEW

1. FOLLOW WISCONSIN DNR TECHNICAL STANDARD 1057 FOR FURTHER DETAILS AND INSTALLATION.
2. LENGTH - MINIMUM OF 50'
3. WIDTH - 24' MINIMUM, SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
4. ON SITES WITH A HIGH GROUND WATER TABLE OR WHERE SATURATED CONDITIONS EXIST, GEOTEXTILE FABRIC SHALL BE PLACED OVER EXISTING GROUND PRIOR TO PLACING STONE. FABRIC SHALL BE WISDOT TYPE-HR GEOTEXTILE FABRIC.
5. STONE - CRUSHED 3" CLEAR STONE SHALL BE PLACED AT LEAST 12" DEEP OVER THE ENTIRE LENGTH AND WIDTH OF ENTRANCE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR DIVERTED TOWARDS CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND MINIMUM OF 6" STONE OVER THE PIPE. PIPE SHALL BE SIZED ACCORDING TO THE DRAINAGE REQUIREMENTS. WHEN THE ENTRANCE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE SHALL NOT BE NECESSARY. THE MINIMUM PIPE DIAMETER SHALL BE 6". CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF SAID PIPE.
7. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED WHERE CONSTRUCTION TRAFFIC ENTERS AND/OR LEAVES THE CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE TRACKING PAD.

2
C600 TRACKING PAD
NOT TO SCALE

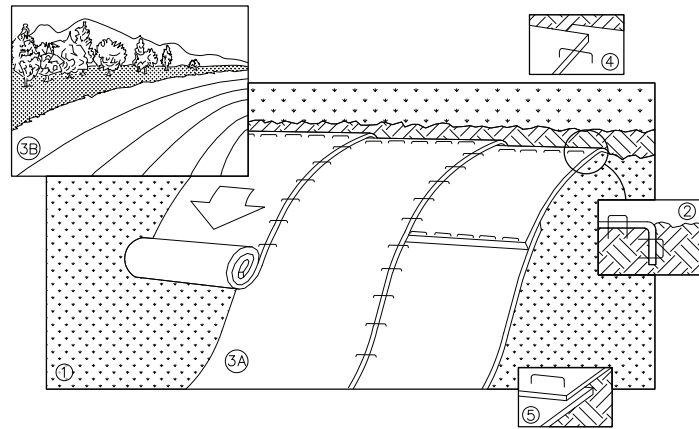


Construction Notes and Details
 1401-1403 Theresa Terrace
 Madison
 Dane County, WI

REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	8/15/2023		

DATE: 04/28/2023
 DRAFTER: AMEA
 CHECKED: RKOL
 PROJECT NO.: 220354

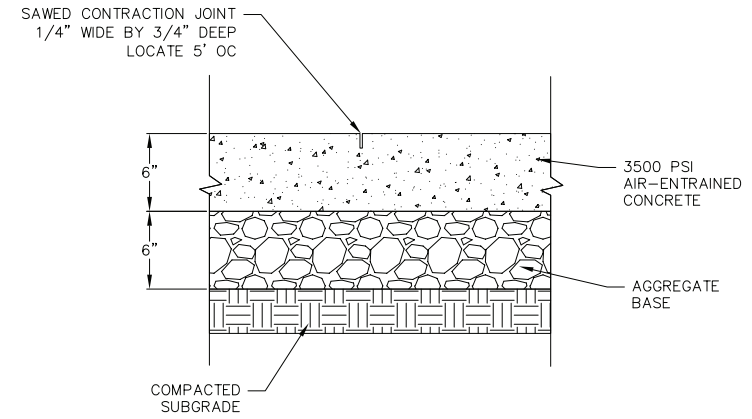
C600



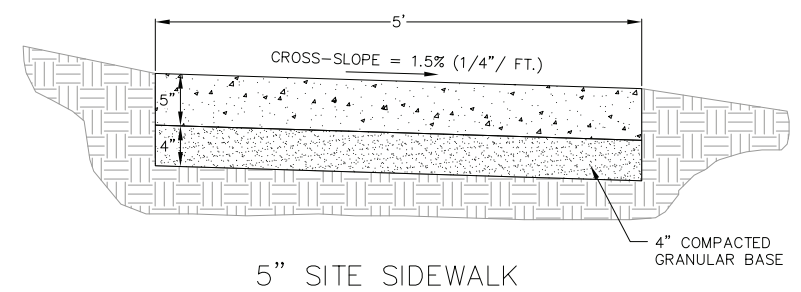
NOTE: REFER TO GENERAL STAPLE PATTERN GUIDE FOR CORRECT STAPLE PATTERN RECOMMENDATIONS FOR SLOPE INSTALLATIONS.

1. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF FERTILIZER AND SEED.
NOTE: WHEN USING CELL-O-SEED, DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP BY 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. ROLL THE BLANKETS <A.> DOWN, OR <B.> HORIZONTALLY ACROSS THE SLOPE.
4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
5. WHEN BLANKETS MUST BE SPLICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.
6. ALL BLANKETS MUST BE SECURELY FASTENED TO THE SLOPE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS RECOMMENDED BY THE MANUFACTURER.

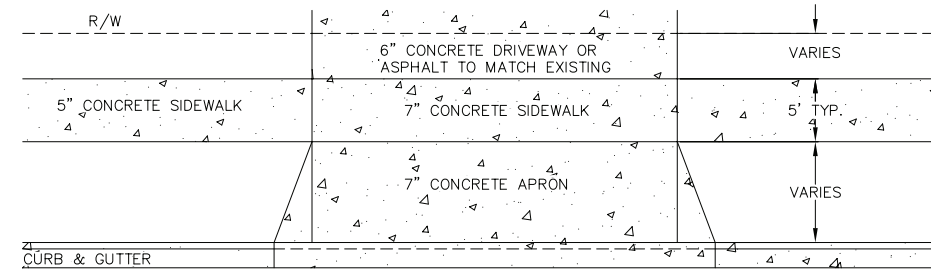
1 EROSION MAT
C601 NOT TO SCALE



2 CONCRETE PAD
C601 NOT TO SCALE



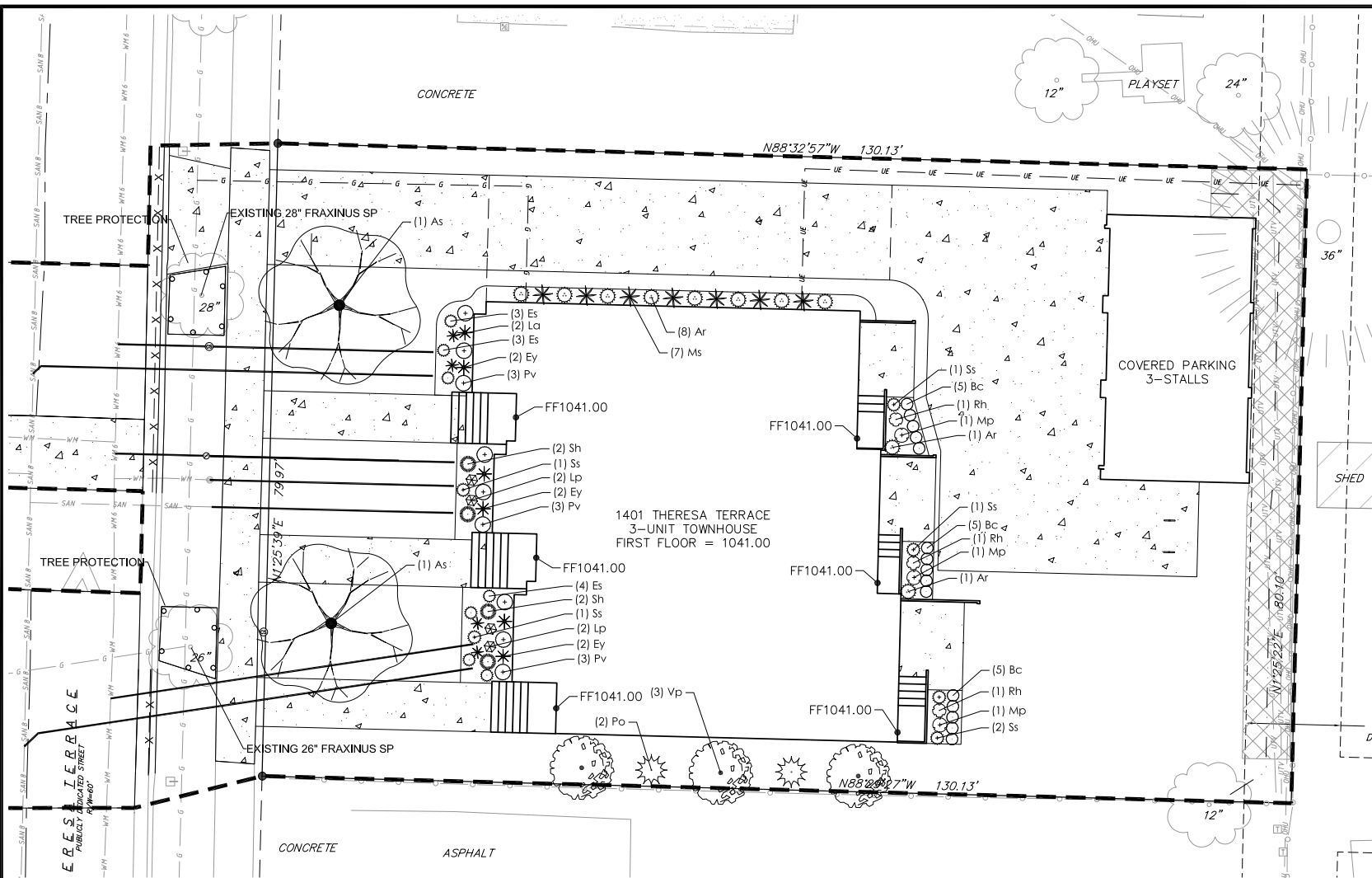
3 5" SIDEWALK
C601 NOT TO SCALE



4 DRIVEWAY DETAIL
C601 NOT TO SCALE

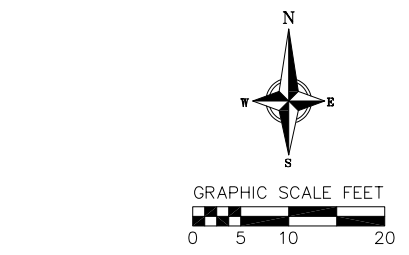
REVISIONS		REVISIONS	
NO.	DATE	NO.	DATE
1	8/15/2023		

DATE: 04/28/2023
DRAFTER: AMEA
CHECKED: RKOL
PROJECT NO.: 220354



PLANT SCHEDULE 1401-1403

DECIDUOUS TREES	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
As	Acer saccharum / Sugar Maple	B & B	2.5' Cal	2
DECIDUOUS SHRUBS	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Po	Physocarpus apulifolius / Ninebark	Cont.	5 Gal.	2
Vp	Viburnum prunifolium / Blackhaw Viburnum	B & B	4' ht.	3
PERENNIALS SHADE	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Ar	Actaea racemosa / Black Snakeroot	Cont.	1 Gal.	10
Ms	Matteuccia struthiopteris / Ostrich Fern	Cont.	1 Gal.	7
PERENNIALS SUN	BOTANICAL / COMMON NAME	ROOT COND.	SIZE	QTY
Bc	Bouteloua curtipendula / Side Oats Grama	Cont.	PinT	15
Es	Eragrostis spectabilis / Purple Lovegrass	Cont.	PinT	7
Ey	Eryngium yuccifolium / Rattlesnake Master	Cont.	1 Gal.	6
La	Liatris aspera / Rough Blazing Star	Cont.	1 Gal.	4
Lp	Liatris pycnostachya / Gayleather	Cont.	1 Gal.	4
Mp	Monarda punctata / Spotted Horsemint	Cont.	PinT	3
Pv	Panicum virgatum / Switch Grass	Cont.	1 Gal.	9
Rh	Rudbeckia hirta / Black-eyed Susan	Cont.	PinT	3
Ss	Schizachyrium scoparium / Little Bluestem	Cont.	1 Gal.	6
Sh	Sporobolus heterolepis / Prairie Dropseed	Cont.	1 Gal.	4



NOT FOR CONSTRUCTION

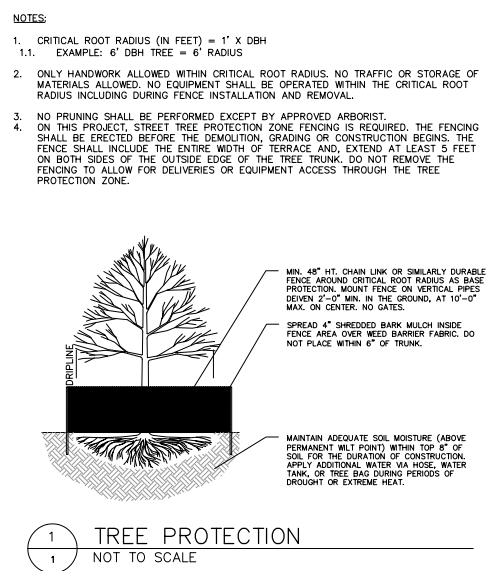
City of Madison Landscape Worksheet						
Address: 1401-1403 Theresa Terrace		Date: 4/18/2023				
Total Square Footage of Developed Area:	(Site Area)	(Building Footprint at Grade)	=	7870.3	sf	
	10412.8	2542.5				
Total Landscape Points Required (<5 ac):	7,870	/ 300 =	26	x 5 =	131	131
Landscape Points Required >5 ac:		/ 100 =	0	x 1 =	-	
Plant Type/ Element	Min. Size at Installation	Points	Quantity	Credits/ Existing Landscaping Points Achieved	New/ Proposed Landscaping Points Achieved	
Overstory deciduous tree	2.5" cal	35		0	2	70
Tall Evergreen Tree	5-6 feet tall	35		0	0	0
Ornamental tree	1.5" cal	15		0	0	0
Upright evergreen shrub	3-4 feet tall	10		0	0	0
Shrub, deciduous	#3 gallon	3		0	5	15
Shrub, evergreen	#3 gallon	4		0	0	0
Ornamental grasses/perennials	#1 gallon	2		0	50	100
Ornamental/decorative fencing or wall	n/a	4 per 10 LF		0	0	0
Existing significant specimen tree	Min. Size 2.5" cal.	14 per caliper inch.		0	0	0
Landscape Furniture for public seating and/or transit connections		5 points per "seat"		0	0	0
Sub Totals				0	185	185
Total Points Provided:				185		

- PLANT MATERIAL NOTES:**
- ALL PLANTINGS SHALL CONFORM TO QUALITY REQUIREMENTS AS PER ANSI Z60.1.
 - ALL PLANT MATERIAL SHALL BE TRUE TO SPECIES, VARIETY AND SIZE SPECIFIED, NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE OF THE PROJECT SITE.
 - CONTACT LANDSCAPE ARCHITECT, IN WRITING, TO REQUEST ANY PLANT MATERIAL SUBSTITUTIONS DUE TO AVAILABILITY ISSUES.
 - ALL PLANTS SHALL BE GUARANTEED TO BE IN HEALTHY AND FLOURISHING CONDITION DURING THE GROWING SEASON FOLLOWING INSTALLATION. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM THE TIME OF INSTALLATION.
 - EXACT LOCATIONS OF EACH PLANT ARE GIVEN IN PLAN, WHILE SLIGHT DEVIATIONS ARE ACCEPTABLE, OVERALL SCHEMATIC/ORIENTATION TO BE ADHERED TO AS ACCURATELY AS POSSIBLE.

- LANDSCAPE MATERIAL NOTES:**
- CONTRACTOR SHALL PROVIDE A SUITABLE AMENDED TOPSOIL BLEND FOR ALL PLANTING AREAS WHERE SOIL CONDITIONS ARE UNSUITABLE FOR PLANT GROWTH. TOPSOIL SHALL CONFORM TO QUALITY REQUIREMENTS AS PER SECTION 625.2(1) OF THE "STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION." PROVIDE A MINIMUM OF 18" OF TOPSOIL IN ALL PLANTING AREAS AND 6" OF TOPSOIL IN AREAS TO BE SEEDDED/SODDED.
 - SUBSOIL UNDER TURF AND PLANTING BEDS MUST BE FREE DRAINING AND LOOSE TO ALLOW ROOT PENETRATION AND DRAINAGE. LANDSCAPE CONTRACTOR SHOULD NOTIFY GENERAL CONTRACTOR IF SUBSURFACE COMPACTION IS UNFIT FOR PLANTING. LANDSCAPE CONTRACTOR IS NOT RESPONSIBLE FOR SUBSURFACE SOIL PREPARATION.
 - LANDSCAPE BEDS TO BE MULCHED WITH UNDYED SHREDDED HARDWOOD BARK MULCH TO 3" DEPTH MIN.
 - LANDSCAPE BEDS ARE SEPARATED FROM SEEDDED AREAS WITH COMMERCIAL GRADE ALUMINUM LANDSCAPE EDGING, PERMALOC CLEANLINE 1/2"x4" OR EQUAL, COLOR BLACK ANODIZED.
 - ALL TREES AND/OR SHRUBS PLANTED IN SEEDDED AREAS TO BE INSTALLED WITH A 5' DIAMETER MULCH RING AND SHOVEL CUT EDGE. A SLOW RELEASE FERTILIZER AND MYCORRHIZAL INOCULANT SHOULD BE APPLIED TOPICALLY AT TIME OF PLANTING PRIOR TO MULCH APPLICATION. APPLICATION RATES TO REFLECT MANUFACTURER SPECIFICATIONS.

- SEEDING AND PLUG-PLANTING NOTES:**
- ALL UNLABELED DISTURBED AREAS TO BE SEEDDED WITH 'LOW MAINTENANCE LAWN BLEND' BY PRAIRIE MOON OR EQUIVALENT, PER MANUFACTURER'S SPECIFIED APPLICATION RATES. ALL TURF SEEDDED AREAS ARE TO BE WATERED DAILY TO MAINTAIN ADEQUATE SOIL MOISTURE FOR PROPER GERMINATION. AFTER VIGOROUS GROWTH IS ESTABLISHED, APPLY 1/2" WATER TWICE WEEKLY UNTIL FINAL ACCEPTANCE. PRIOR TO SEEDING APPLY A MINIMUM OF 4" TOPSOIL TO ENTIRE AREA. FOLLOWING SEEDING APPLY A MULCH LAYER OF STRAW OR STRAW MAT.

- CITY OF MADISON STREET TREE NOTES:**
- ALL PROPOSED STREET TREE REMOVALS WITHIN THE RIGHT OF WAY SHALL BE REVIEWED BY CITY FORESTRY BEFORE THE PLAN COMMISSION MEETING. STREET TREE REMOVALS REQUIRE APPROVAL AND A TREE REMOVAL PERMIT ISSUED BY CITY FORESTRY. ANY STREET TREE REMOVALS REQUESTED AFTER THE DEVELOPMENT PLAN IS APPROVED BY THE PLAN COMMISSION OR THE BOARD OF PUBLIC WORKS AND CITY FORESTRY WILL REQUIRE A MINIMUM OF A 72-HOUR REVIEW PERIOD WHICH SHALL INCLUDE THE NOTIFICATION OF THE ALDERPERSON WITHIN WHOSE DISTRICT IS AFFECTED BY THE STREET TREE REMOVAL(S) PRIOR TO A TREE REMOVAL PERMIT BEING ISSUED.
 - CONTRACTOR SHALL TAKE PRECAUTIONS DURING CONSTRUCTION TO NOT DISFIGURE, SCAR, OR IMPAIR THE HEALTH OF ANY STREET TREE. CONTRACTOR SHALL OPERATE EQUIPMENT IN A MANNER AS TO NOT DAMAGE THE BRANCHES OF THE STREET TREE(S). THIS MAY REQUIRE USING SMALLER EQUIPMENT AND LOADING AND UNLOADING MATERIALS IN A DESIGNATED SPACE AWAY FROM THE CONSTRUCTION SITE. ANY DAMAGE OR INJURY TO EXISTING STREET TREES (EITHER ABOVE OR BELOW GROUND) SHALL BE REPORTED IMMEDIATELY TO CITY FORESTRY AT (608) 266-4816. PENALTIES AND REMEDIATION SHALL BE REQUIRED.
 - AS DEFINED BY THE SECTION 107.13 OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION: NO EXCAVATION IS PERMITTED WITHIN 5 FEET OF THE TRUNK OF THE STREET TREE OR WHEN CUTTING ROOTS OVER 3 INCHES IN DIAMETER. IF EXCAVATION IS NECESSARY, THE CONTRACTOR SHALL CONTACT MADISON CITY FORESTRY AT (608) 266-4816 PRIOR TO EXCAVATION. CITY OF MADISON FORESTRY PERSONNEL SHALL ASSESS THE IMPACT TO THE TREE AND TO ITS ROOT SYSTEM PRIOR TO WORK COMMENCING. TREE PROTECTION SPECIFICATIONS CAN BE FOUND ON THE FOLLOWING WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)
 - SECTION 107.13(G) OF CITY OF MADISON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WEBSITE: [HTTPS://WWW.CITYOFMADISON.COM/BUSINESS/PW/SPECS.CFM](https://www.cityofmadison.com/business/pw/specs.cfm)) ADDRESSES SOIL COMPACTION NEAR STREET TREES AND SHALL BE FOLLOWED BY CONTRACTOR. THE STORAGE OF PARKED VEHICLES, CONSTRUCTION EQUIPMENT, BUILDING MATERIALS, REFUSE, EXCAVATED SPOILS OR DUMPING OF POISONOUS MATERIALS ON OR AROUND TREES AND ROOTS WITHIN FIVE (5) FEET OF THE TREE OR WITHIN THE PROTECTION ZONE IS PROHIBITED.
 - ON THIS PROJECT, STREET TREE PROTECTION ZONE FENCING IS REQUIRED. THE FENCING SHALL BE ERRECTED BEFORE THE DEMOLITION, GRADING OR CONSTRUCTION BEGINS. THE FENCE SHALL INCLUDE THE ENTIRE WIDTH OF TERRACE AND, EXTEND AT LEAST 5 FEET ON BOTH SIDES OF THE OUTSIDE EDGE OF THE TREE TRUNK. DO NOT REMOVE THE FENCING TO ALLOW FOR DELIVERIES OR EQUIPMENT ACCESS THROUGH THE TREE PROTECTION ZONE.
 - STREET TREE PRUNING SHALL BE COORDINATED WITH CITY FORESTRY AT A MINIMUM OF TWO WEEKS PRIOR TO THE START OF CONSTRUCTION FOR THIS PROJECT. CONTACT CITY FORESTRY AT (608)266-4816. ALL PRUNING SHALL FOLLOW THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 - PART 1 STANDARDS FOR PRUNING.



1 TREE PROTECTION NOT TO SCALE

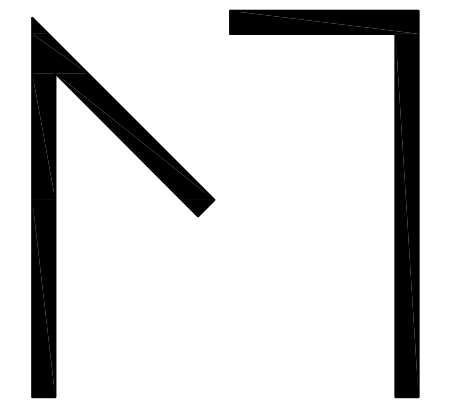
- REQUIREMENT NOTES:**
- TOTAL STREET FRONTAGE: 80'
 - NUMBER OF CANOPY TREES REQUIRED: 2.6
 - NUMBER OF CANOPY TREES SPECIFIED: 2
 - NUMBER OF SHRUBS REQUIRED: 13
 - NUMBER OF PERENNIALS SUBSTITUTED: 37
- *DUE TO SPACE AND UTILITY RESTRICTIONS, VARIANCE FROM CODE IS REQUESTED TO REDUCE NUMBER OF CANOPY TREES REQUIRED AND SUBSTITUTE NATIVE PERENNIALS FOR SHRUBS.

vierbicher
planners engineers advisors

LANDSCAPE PLAN
1401-1403 Theresa Terrace
Madison
Dane County, WI

NO.	DATE	REVISIONS	REMARKS
1			

DATE: 04/17/2023
DRAFTER: EGOR
CHECKED: RKOL
PROJECT NO.: 220354
L100



MoTiS
Morrison Tills
Studio

841 W. Lakeside Street Suite A
Madison, WI 53715
608-709-1430
info@mottisarch.com

1401 THERESA TERRACE

1401 THERESA TERRACE
MADISON, WI 53711

NOT FOR CONSTRUCTION

No.	Description	Date

PROJECT: 2204
DRAWN BY:
DATE: 08/22/23

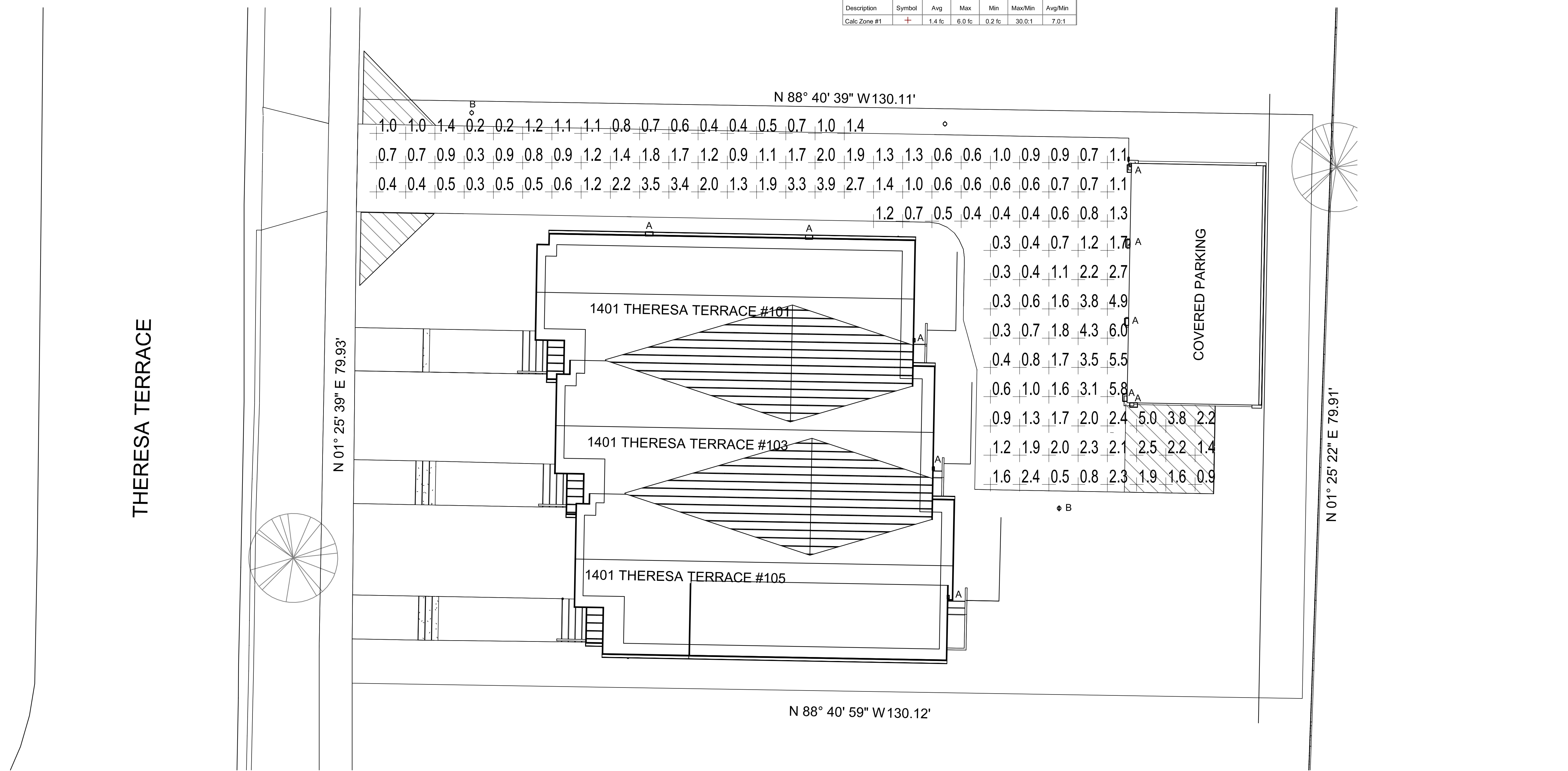
SHEET TITLE
SITE PHOTOMETRIC PLAN

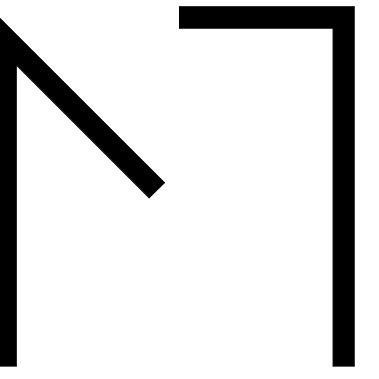
C1.8

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Symbol	Label	Image	QTY	Manufacturer	Catalog	Description
□	A		10	Lithonia Lighting	WEDGE1 LED P0 30K 80CRI VF	WEDGE1 LED WITH P0 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT FORWARD OPTIC
○	B		3	Lithonia Lighting	KBD8 LED 12C 350 30K ASY MVOLT	KBD8 WITH 3 LIGHT BOARDS (12 LEDS), 350mA DRIVER, 3000K COLOR TEMP, AND ASYMMETRIC OPTIC

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.4 fc	6.0 fc	0.2 fc	30.0:1	7.0:1





Morrison Tills Studio

841 W. Lakeside St. Suite A
Madison, WI 53715
608.709.1430
info@motisarch.com

CONSULTANTS

TERESA TERRACE
1401 - 1403 TERESA TERRACE, MADISON,
WI 53711

NOT FOR CONSTRUCTION- FOR CONDITIONAL USE ONLY

PROJECT NO: 2204

DATE: 08/16/2023

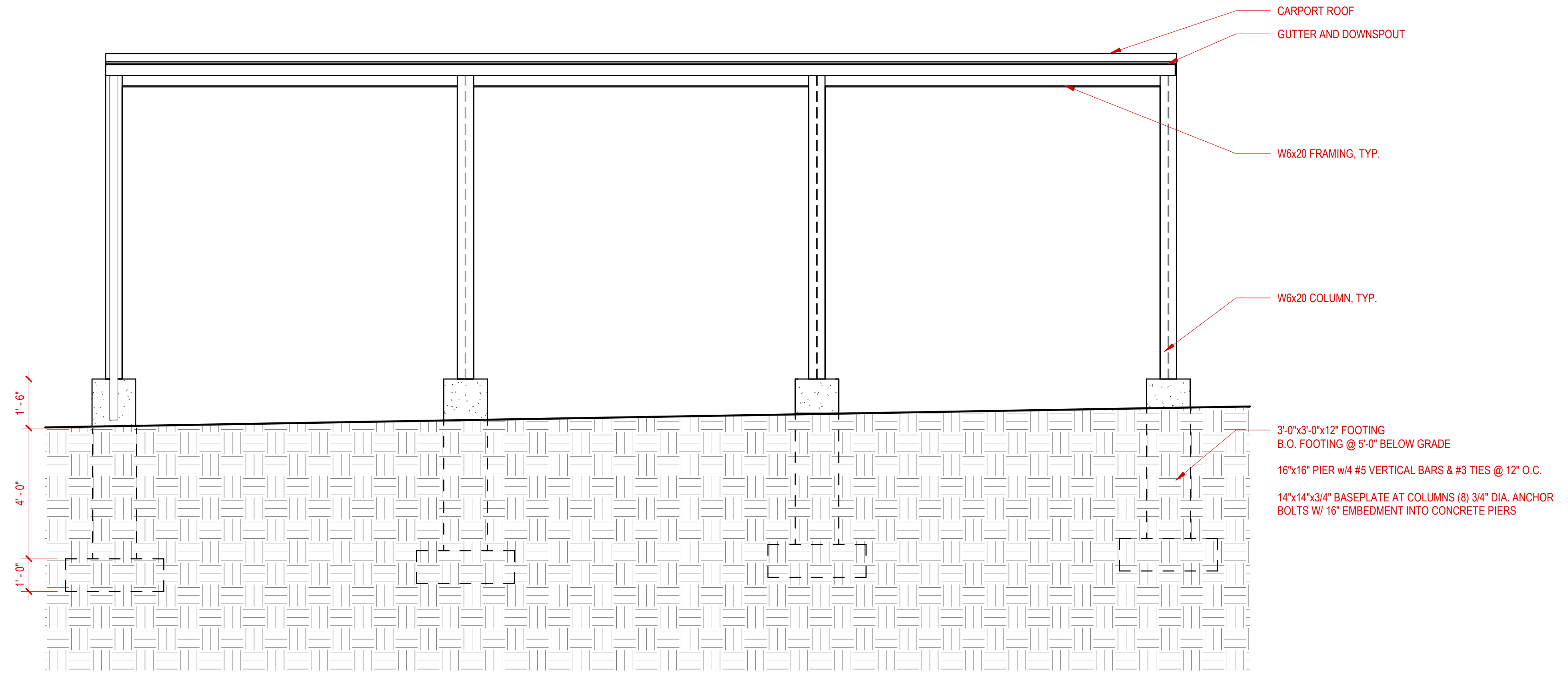
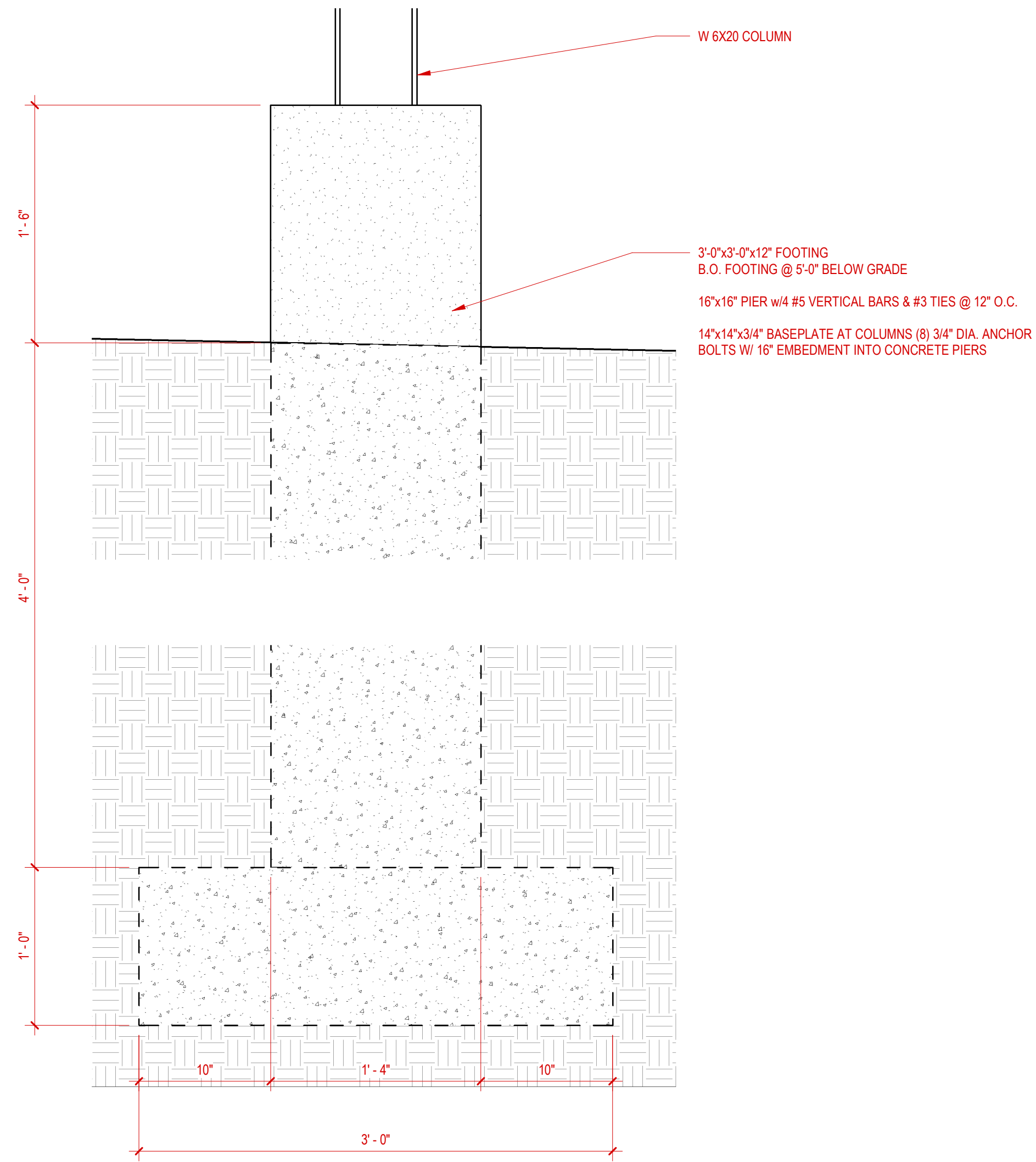
SHEET TITLE

CARPORT DETAILS

A602

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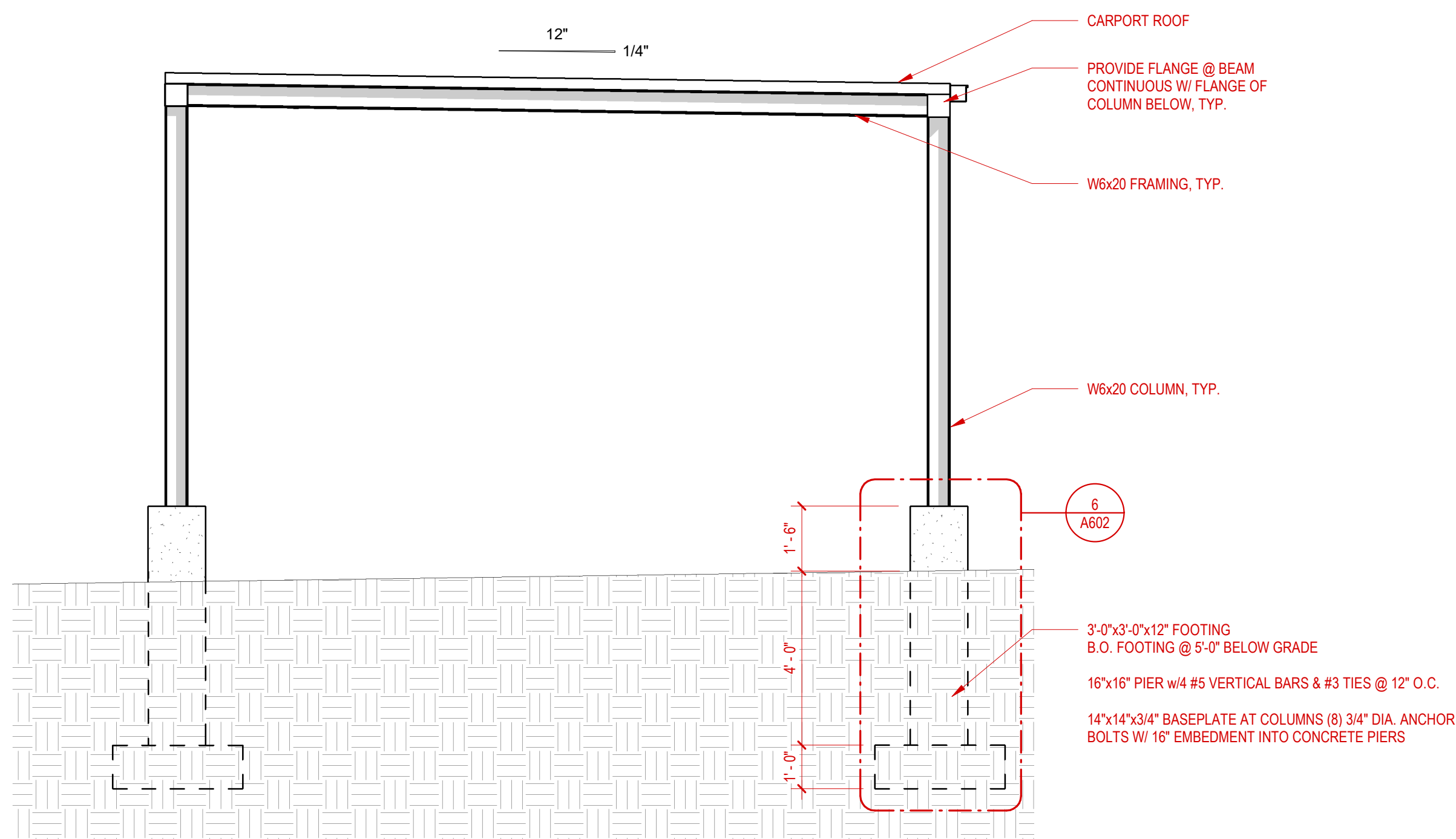


6 CARPORT COLUMN/FOUNDATION ATTACHMENT DETAIL

1 1/2" = 1'-0"

4 E/W CARPORT ELEVATION

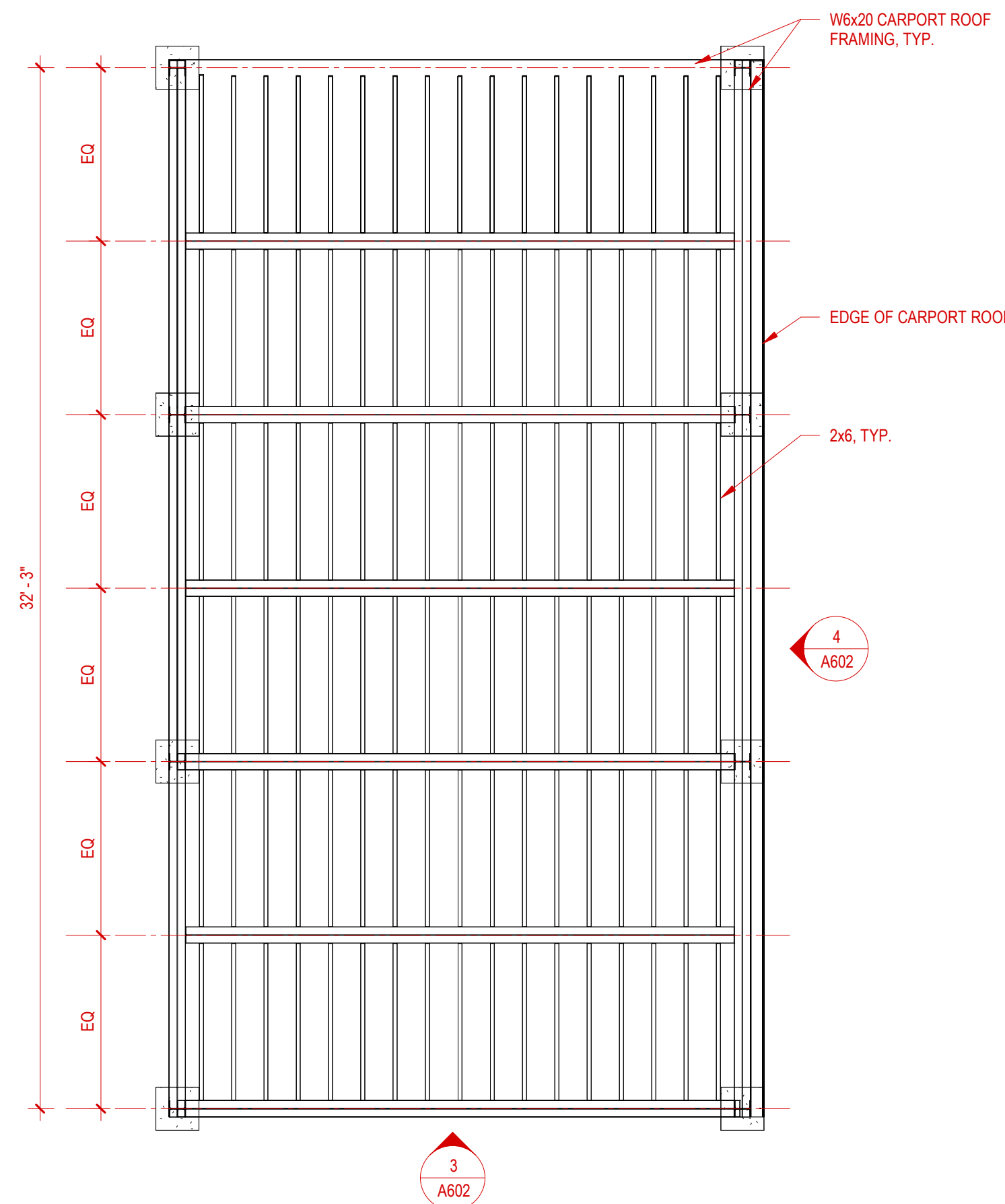
3/8" = 1'-0"



3 N/S CARPORT ELEVATION

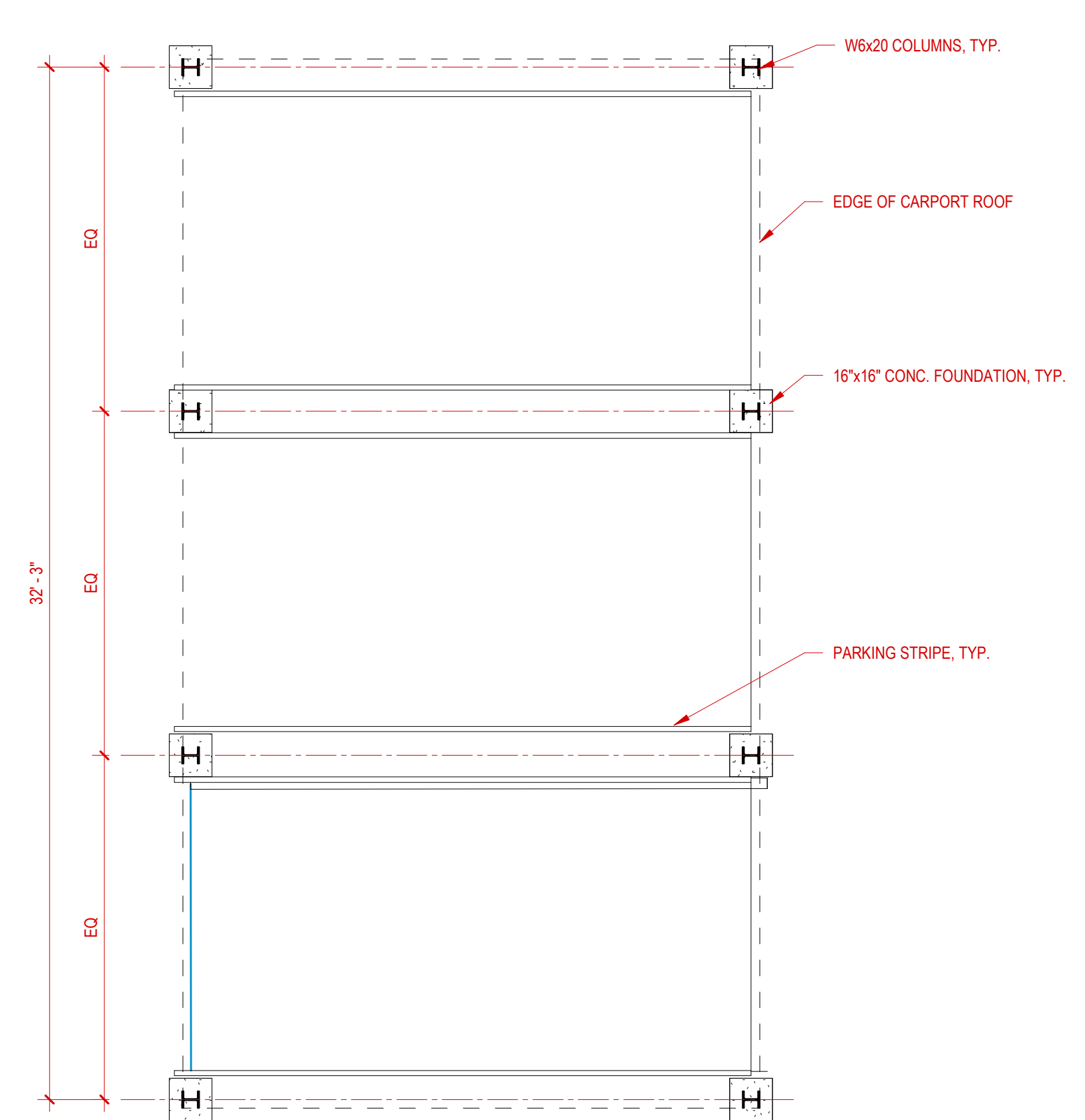
3/8" = 1'-0"

2 ENLARGED CARPORT FRAMING PLAN



1/4" = 1'-0"

1 ENLARGED CARPORT PLAN



1/4" = 1'-0"



City of Madison Engineering Division

EROSION CONTROL PERMIT

Permit Number: ENG100-2023-06120
City Engineering: (608) 266-4751

Location of Work: 1401 Theresa TER

Parcel: 070836412076

Permittee: Dan Johns

Telephone: (608) 243-0301

Email:

Owner: CITY OF MADISON CDA

Telephone:

djohns@cityofmadison.com

Table with 3 columns: FEE SCHEDULE, APPROVALS, and DIGGER'S HOTLINE. Includes fee breakdown (Total Disturbed Area Fee, Full Plan Base Fee, Total Fee Amount, Total Invoiced Amount, Paid, Balance Due) and approval details (Plan Review, Issuance).

PROPOSED WORK: 1401-1403 Theresa Terrace
Project Description:
Permit Type: Full Plan
Construction Start Date: 11/1/2023 Permit Expiration Date: 8/1/2025 Seed Sod Restore Date: 5/15/2025
USLE Rate: 3.2 Total Disturbed Area: 9,995
EC Checklist Attached EC Plan Attached Pumping Plan Attached

FOR CITY OF MADISON USE ONLY: APPROVED

Megan Eberhardt

09/01/2023

- Erosion Control Permit Reviewer

Date

Full Plan

See page two of this permit for Permit Conditions and Requirements.



City of Madison Engineering Division

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Owner: CITY OF MADISON CDA

Telephone:

djohns@cityofmadison.com

Permit Conditions and Requirements:

Failure to abide by any of the following permit conditions will be considered a violation of the City's Erosion Control Ordinance (MGO Ch. 37) and can result in the issuance to the permittee and/or the property owner of Official Notices, citations, and/or referral to the City Attorney for resolution of non-compliance.

Erosion & Sediment Control Measures are to be installed prior to any land disturbance activities.

Within ten (10) days of the completion of the project or site stabilization the applicant shall submit an Erosion Control Notice of Termination (ECNOT). The ECNOT should be sent to the administrative authority that initially approved your permit.

The Erosion Control Permit applicant shall conduct a pre-construction meeting attended by a Professional Engineer responsible for initial implementation certification of the erosion control plan. The Professional Engineer shall document and submit minutes of this meeting to City Engineering.

A Professional Engineer currently licensed in the State of Wisconsin shall certify the initial installation and implementation of the measures shown on the approved erosion control plan. Documentation on the City's Installation Certification form shall be submitted to the administrative authority within one (1) week of the installation. The certification form can be found on the City's webpage at <http://www.cityofmadison.com/engineering/Permits.cfm>.

As part of the Erosion Control Permit requirements this construction project requires erosion control inspections and reporting by the permittee (or by their authorized inspector). Inspections shall be conducted a minimum of once per week and also after every 24-hour rain event of 0.5" or more precipitation. The results of these inspections shall be entered on the City's permit and inspection tracking system.

Dust Control, if applicable shall be provided, per WDNR Conservation Practice Standard 1068.

Trench Dewatering, if applicable shall be provided, per WDNR Conservation Practice Standard 1061.

All BMP's installed for erosion control shall be in accordance with the applicable WDNR Conservation Practice Standards found at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.html